

LOUISVILLE FIRE PROTECTION DISTRICT

LOUISVILLE FIRE STATION 1 - RENOVATION

1240 MAIN ST, LOUISVILLE, CO 80027

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ARCHITECTS

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1 | VICINITY MAP

G-001



2 | LOCATION MAP

G-001

SHEET INDEX

SHEET NUMBER	SHEET TITLE
GENERAL	
G-001	VICINITY MAP AND DESIGN TEAM DIRECTORY
G-002	PROJECT GENERAL NOTES
GH01	CODE ANALYSIS
GH02	CODE ANALYSIS PLANS

ARCHITECTURAL	
A-001	ARCHITECTURAL ABBREVIATIONS, SYMBOLS AND MATERIALS
A-011	PARTITION TYPES AND DETAILS
AD101	OVERALL DEMO PLAN - FIRST FLOOR
AD102	OVERALL DEMO PLAN - SECOND FLOOR
AD111	ENLARGED DEMO PLANS - FIRST FLOOR
AD112	ENLARGED DEMO PLANS - SECOND FLOOR
A-101	OVERALL FLOOR PLAN - FIRST FLOOR
A-102	OVERALL FLOOR PLAN - SECOND FLOOR
A-111	ENLARGED FLOOR PLANS - FIRST FLOOR
A-112	ENLARGED FLOOR PLANS - SECOND FLOOR
A-601	INTERIOR ELEVATIONS
A-701	SCHEDULES

MECHANICAL	
MEP-001	MEP COVER SHEET
MEP-002	MEP SPECIFICATIONS
MEP-003	MEP SPECIFICATIONS
MEP-101	MEP DEMOLITION PLAN - FIRST FLOOR
MEP-102	MEP DEMOLITION PLAN - SECOND FLOOR
M-101	HVAC PLAN - FIRST FLOOR
M-102	HVAC PLAN - SECOND FLOOR

ELECTRICAL	
E-101	POWER PLAN - FIRST FLOOR
E-102	POWER PLAN - SECOND FLOOR

DATE	APPROVALS

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STATE OF COLORADO

BRIAN T. DUGGAN
401770
4/15/2024
LICENSED ARCHITECT

LOUISVILLE FIRE PROTECTION DISTRICT
**LOUISVILLE FIRE STATION
1 - RENOVATION**
1240 MAIN ST, LOUISVILLE, CO 80027
VICINITY MAP AND DESIGN TEAM
DIRECTORY

SHEET
IDENTIFICATION
G-001

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G-001-

GENERAL REQUIREMENTS

- 1. ATTENTION ALL USERS OF THESE DRAWINGS, GENERAL CONTRACTORS, SUB CONTRACTORS, MANUFACTURERS, SUPPLIERS. CAREFULLY AND THOROUGHLY REVIEW THESE GENERAL NOTES. IT IS YOUR RESPONSIBILITY TO KNOW AND ADHERE TO THESE REQUIREMENTS.
2. DO NOT PRESUME THAT YOUR SCOPE OF WORK IS SINGULARLY DEFINED. YOUR SCOPE OF WORK IS DEFINED THROUGHOUT THE ENTIRE SET OF DRAWINGS AND SPECIFICATIONS AND IS NOT CONTAINED IN JUST ONE SERIES OF DRAWINGS OR DIVISION OF SPECIFICATIONS. YOU MUST REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO DETERMINE YOUR SCOPE OF WORK.
3. EVERY EFFORT HAS BEEN MADE TO MAKE THESE DOCUMENTS CONCISE AND COORDINATED, TO DEFINE WORK IN THE MOST LOGICAL PLACE AND TO ELIMINATE REDUNDANCY. KEEP IN MIND HOWEVER THAT YOUR SCOPE OF WORK CAN BE CONTAINED IN VARIOUS PLACES, WITH VARYING DESCRIPTIONS. DO NOT CONSIDER THAT THERE IS ONE CUSTOMARY PLACE TO LOCATE YOUR WORK. THERE IS A DANGER OF OMITTING WORK FROM YOUR SCOPE BECAUSE THE ENTIRE SET OF DOCUMENTS WAS NOT REVIEWED.
4. MECHANICAL AND ELECTRICAL DRAWINGS SHOW INFORMATION IN A DIAGRAMMATIC FASHION WITHOUT DIMENSIONING. THE GENERAL CONTRACTOR IS TO COORDINATE THE LOCATIONS OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT WITH RESPECT TO THE ARCHITECTURAL AND STRUCTURAL DETAILING OF SHAFTS, CHASES, AND SUCH.
5. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH SITE CONDITIONS AS THEY MAY AFFECT CARRYING OUT THE WORK AS DESCRIBED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT, AND NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
6. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR, AND SERVICES NECESSARY TO COMPLETE THE WORK.
7. ALL PERSONS DIRECTLY OR INDIRECTLY ASSOCIATED WITH THE PROJECT SHALL BE FAMILIAR WITH THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT, AND IMPLEMENT THOSE RULES AS THEY APPLY TO THIS PROJECT.
8. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE BUILDING CODES AS NOTED ON CODE SHEETS AND/OR DIRECTED BY THE BUILDING DEPARTMENT OR BUILDING OFFICIAL.
9. CONTRACTOR SHALL SUBMIT CONFIRMATION OF ORDERED MATERIALS OR ITEMS NECESSARY TO COMPLETE THE PROJECT WITH PROJECTED DELIVERY DATE GREATER THAN FOUR WEEKS.
10. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS AS REQUIRED FOR ARCHITECTS APPROVAL PRIOR TO COMMENCING ANY WORK.
11. FIELD VERIFY ALL DIMENSIONS PRIOR TO CASEWORK FABRICATION.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND THE PREVENTION OF CONFLICT BETWEEN ALL TRADES.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITY LINES. LOCATIONS SHOWN ARE APPROXIMATE. REPAIR ALL DAMAGE TO UTILITY LINES CAUSED BY CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

- 14. PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL CONDUCT A WALK THROUGH INSPECTION WITH THE OWNER AND A/E DETERMINE IN WRITING THE CONDITION OF THE WORK ALREADY IN PLACE. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING EQUIPMENT PRESENTLY IN PLACE THAT IS DAMAGED DURING CONSTRUCTION.
15. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL PATCH AND REPAIR REQUIREMENTS OF EXISTING SURFACES TO RECEIVE NEW FINISHES. THE COST FOR ALL SUCH WORK IS TO BE COVERED BY THE BID.
16. IT IS THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTOR'S RESPONSIBILITY TO PROVIDE A COMPLETE, FUNCTIONING AND FULLY OPERATIONAL SOLUTION SURROUNDING ANY AND ALL ASPECTS OF THIS PROJECT. SHOULD ASPECTS AND/OR ELEMENTS BE MISSING FROM THE DOCUMENTS THAT PREVENT SUCH, CONTRACTOR SHALL INCLUDE IN THEIR ORIGINAL BID, FEE TO PROVIDE SOLUTIONS TO MEET SUCH REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN CLARIFICATION ON ANY AND ALL ITEMS THAT ARE UNCLEAR WITHIN THE DOCUMENTS, PRIOR TO BID, SO THAT THE CONTRACTOR'S BID ACCOUNTS FOR ALL ASPECTS AND ELEMENTS OF THIS PROJECT.
17. SHOULD CONTRACTOR NEED ADDITIONAL CLARIFICATION OR SUPPLEMENTAL INFORMATION ON ANY ASPECT OF THE DOCUMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST WRITTEN INFORMATION THROUGH AN INDUSTRY STANDARD REQUEST FOR INFORMATION (RFI) OR SEEK SUPPLEMENTAL INFORMATION THROUGH AN INDUSTRY STANDARD ARCHITECT SUPPLEMENTAL INFORMATION (ASI). SHOULD THE CONTRACTOR FAIL TO REQUEST SUCH CLARIFICATION INFORMATION IN A TIMELY MANNER THAT RESULTS IN A NEGATIVE EFFECT ON THE PROJECT'S SCHEDULE OR BUDGET, THE CONTRACTOR ASSUMES ANY AND ALL LIABILITY ASSOCIATED WITH THE PROJECT SCHEDULE AND MONETARY ASPECTS SURROUNDING RESOLUTION.
18. NOT ALL FIRE RATED ASSEMBLIES AND/OR UL LISTED ASSEMBLIES FOR ALL INSTANCES ARE PROVIDED, OR DETAILED FOR THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INQUIRE WITH THE ARCHITECT, BUILDING DEPARTMENT, FIRE DEPARTMENT, CODE OFFICIAL, CODE INSPECTOR AND OTHER AUTHORITIES HAVING JURISDICTION APPLICABLE FOR CLARIFICATION AND SPECIFIC DETAILS AS NECESSARY TO ENSURE A COMPLIANT APPLICATION WILL BE USED/ HAS BEEN INSTALLED AND MEETS ALL REQUIRED CODES.
19. SEQUENCE OF CONSTRUCTION IS A "MEANS AND METHODS" AND THEREFORE THE RESPONSIBILITY OF THE CONTRACTORS. IMPACTS TO THE SCHEDULE AND/OR DELAYS DUE TO SEQUENCING ARE THE CONTRACTORS' RESPONSIBILITY. AS SUCH, CONTRACTOR ASSUMES ANY AND ALL LIABILITY ASSOCIATED WITH SUCH, INCLUDING MONETARY ASPECTS SURROUNDING RESOLUTION.
20. THE SPECIFICATIONS AND DRAWINGS (CONTRACT DOCUMENTS) MAY NOT BE COMPLETE IN EVERY DETAIL. CONTRACTOR AND THEIR SUBCONTRACTORS SHALL COMPLY WITH THE INTENT OF THE CONTRACT DOCUMENTS AND GENERAL PURPOSE, TAKEN AS A WHOLE, AND SHALL NOT MAKE USE OF CLAIM ON ANY ERRORS OR OMISSIONS THEREIN TO THE DETRIMENT OF THE DESIGN TEAM OR WORK. SHOULD ANY CONFLICT, PRESUMED ERROR OR OMISSION, OR DISCREPANCY APPEAR IN THE DRAWINGS, SPECIFICATIONS OR INSTRUCTIONS IN WORK DONE BY OTHERS OR IN SITE CONDITIONS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AT ONCE. FAILURE TO NOTIFY THE ARCHITECT IMMEDIATELY, ALLEVIATES ALL LIABILITY FROM ARCHITECT, DESIGN TEAM AND OWNER AND PLACES ALL LIABILITY WITH THE CONTRACTOR. IF CONTRACTOR PROCEEDS WITH ANY OF THE WORK IN QUESTION PRIOR TO DIRECTION FROM OWNER AND/ OR ARCHITECT, THEN REQUIRED CORRECTIONS SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL NOT BE REIMBURSABLE.
21. ALL CODE MANDATED SIGNAGE SHALL BE PROVIDED BY GENERAL CONTRACT, INCLUDED WITHIN BID, UNLESS OTHERWISE NOTED.

DRAWINGS AND DIMENSIONS

- 1. THE CONTRACT DOCUMENT DRAWINGS HAVE BEEN PREPARED USING REVIT SOFTWARE IN A MICROSOFT WINDOWS ENVIRONMENT. A BUILDING INFORMATION MODEL (BIM) WAS DEVELOPED SOLELY TO COMMUNICATE THE DESIGN INTENT TO THE OWNER AND IS NOT SUITABLE FOR ANY OTHER PURPOSE. FOR EXAMPLE THE REVIT MODEL IS NOT SUITABLE FOR COST ESTIMATING, SYSTEMS PERFORMANCE, COORDINATION, SCHEDULING, OR FACILITIES MANAGEMENT.
2. THESE DOCUMENTS WERE PRODUCED USING THE CONSTRUCTION SPECIFICATIONS INSTITUTE'S UNIFORM DRAWING SYSTEM AND THE NATIONAL CAD STANDARD AS GUIDES.
3. ANY INDICATION OF PROJECT LIMITS OR LINES OF DEMARCATION ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR, AND ARE NOT TO BE TAKEN LITERALLY. ACTUAL CONTRACT LIMITS ARE TO BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE OWNER BEFORE ACTUAL CONSTRUCTION WORK BEGINS.
4. DRAWINGS ARE PREPARED USING DIMENSIONS AND PRODUCT CONFIGURATIONS OR DETAILS OF SPECIFIC MANUFACTURERS. DIMENSIONS AND DETAILS FOR SPECIFIC PRODUCTS MAY CHANGE BEFORE THEY ARE ACTUALLY INCORPORATED INTO THE WORK, AND PRODUCTS BY OTHER MANUFACTURERS MAY ALSO BE ACCEPTABLE. THEREFORE, ACTUAL INSTALLATION DETAILS AND DIMENSIONS MAY DIFFER FROM THOSE SHOWN. CONTRACTOR SHALL VERIFY INSTALLATION REQUIREMENTS FOR ALL PRODUCTS TO BE INCORPORATED IN THE WORK (INCLUDING PARTITION THICKNESS FOR RECESSED OR SEMI-RECESSED PRODUCTS), AND IS RESPONSIBLE FOR ACCOMMODATING AND COORDINATING CHANGES TO OTHER MATERIALS OR PRODUCTS THAT ARE NECESSARY BECAUSE OF THESE DIFFERENCES.
5. THE DRAWINGS AND SPECIFICATIONS ARE SEPARATED INTO DISCIPLINES FOR THE CONVENIENCE OF THE ARCHITECT AND THE CONTRACTOR. THE SEPARATIONS USED HEREIN ARE USED ONLY FOR THE PURPOSES OF CONVENIENCE AND REFERENCE AND IN NO WAY DO THEY DEFINE OR LIMIT THE SCOPE OR INTENT OF ANY PART OF THE DRAWINGS, OR OF THE DRAWINGS AND SPECIFICATIONS AS A WHOLE. THE FACT THAT THE DRAWINGS ARE SEPARATED IN NO WAY SUGGESTS THAT THE WORK IS NOT TO BE CONSTRUCTED AS A COMPLETE, INTEGRATED AND UNIFIED WHOLE.
6. THE DRAWINGS AND SPECIFICATIONS, INCLUDING DRAWINGS PREPARED BY SPECIFIC ENGINEERING DISCIPLINES (SUCH AS CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC.) ARE COMPLEMENTARY; ITEMS SHOWN IN ANY ONE LOCATION IN THE DRAWINGS SHALL BE CONSIDERED TO BE REQUIREMENTS OF THE CONTRACT FOR CONSTRUCTION. IN THE EVENT OF AN INCONSISTENCY BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WITHIN EITHER DOCUMENT, THE CONTRACTOR SHALL SEEK CLARIFICATION OR INTERPRETATION FROM THE ARCHITECT PRIOR TO BIDDING. WHERE INCONSISTENCIES ARE NOT CLARIFIED PRIOR TO BIDDING, AND WHERE THE ACTUAL SOLUTION OR INTENT CANNOT BE REASONABLY INFERRED, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY OR GREATER QUANTITY OF WORK.
7. USE OF THE WORD "VERIFY" POINTS OUT A SITUATION WHICH MUST BE CONFIRMED PRIOR TO PROCEEDING WITH THE WORK, FABRICATION OF EQUIPMENT, OR ORDERING MATERIAL. NOTIFY THE ARCHITECT OF ANY DISCREPANCY

- 8. THE FIRE SPRINKLER SYSTEM WILL BE DESIGNED BY THE INSTALLING SUB CONTRACTOR. THE GENERAL CONTRACTOR SHALL COORDINATE LAYOUT, CLEARANCES, AND LOCATION OF HEAD HEIGHTS WITH THE STRUCTURE, MECHANICAL DUCTWORK, ELECTRICAL LIGHTING, DRAINAGE PIPING, AND THE ARCHITECTURAL REFLECTED CEILING PLANS. THE SPRINKLER DESIGN MUST BE COORDINATED WITH THE PROVISIONS OF ALL ENGINEERING AND ARCHITECTURAL DOCUMENTS SHOULD NOT RELY SOLELY ON ONE SERIES OF DRAWINGS OR ONE DISCIPLINE. SPRINKLER SYSTEMS LOCATED IN UNHEATED SPACES SHALL BE A DRY PIPE SYSTEM UNLESS NOTED OTHERWISE.
9. ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS SHOW WHERE EXPOSED DUCTWORK IS TO BE INSTALLED AT A SPECIFIC ELEVATION IN A CONTROLLED PATTERN. THE CONTRACTOR MUST RELY ON ALL OF THESE DISCIPLINES TO COMPLETE THE WORK AND SHOULD NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
10. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INSTALLING THEIR RESPECTIVE EQUIPMENT IN THE CEILING PLENUMS, MECHANICAL, ELECTRICAL, STRUCTURAL, AND FIRE ROOM FINISHES ARE NOT SPECIFICALLY INDICATED, PROVIDE THE SAME FINISHES AS ARE PROVIDED IN THE ROOM ADJACENT TO THE ROOM IN QUESTION, OR OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO BIDDING.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY SHOULD ANY DISCREPANCIES BE FOUND IN THE DRAWINGS AND SPECIFICATIONS.
12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL FIELD CONDITIONS AND DIMENSIONS AS THEY RELATE TO THIS PROJECT. SHOULD DISCREPANCIES EXIST BETWEEN THE WORK INDICATED AND ACTUAL FIELD CONDITIONS NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
13. DO NOT SCALE THE DRAWINGS. DRAWING SCALES AS INDICATED ARE FOR REFERENCE ONLY AND ARE NOT INTENDED TO ACCURATELY DEPICT ACTUAL OR DESIGNATED CONDITIONS. WRITTEN DIMENSIONS SHALL GOVERN.
14. ALL DIMENSIONS INDICATED ARE TO FACES OF CMU/STUD/STRUCTURAL MATERIALS OR COLUMN GRID LINES UNLESS NOTED OTHERWISE. MASONRY DIMENSIONS ARE MODULAR IN THAT THEY INCLUDE THE GROUT JOINT. ROUGH OPENINGS ALLOW FOR SHIM SPACE.
15. REFER TO THE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATIONS OF ALL CEILING FIXTURES. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR COMPLETE CONSTRUCTION REQUIREMENTS.
16. THE TERM "ALIGN" REFERS TO LOCATING DIFFERENT COMPONENTS OF CONSTRUCTION TO PROVIDE A FLUSH FINISH SURFACE.
17. CONTRACTOR SHALL LAY OUT ALL PARTITIONS PER THE DIMENSIONS SHOWN ON THE PLAN. VERIFY PARTITION LAYOUT WITH EXISTING WINDOWS, COLUMNS, DOORS, EQUIPMENT AND CEILING SYSTEMS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

CONSTRUCTION NOTES

- 1. TOP OF CONCRETE FIRST FLOOR SLAB IS ASSUMED AT EL. 100'-0" (ELEVATION 100'-0 EQUATES TO USGS DATUM ELEVATION OF XXXX.XX').
2. METAL STUD PARTITIONS SHALL BE OF SUFFICIENT WIDTH TO ADEQUATELY ENCLOSE PIPING, CONDUITS, AND RECESSED EQUIPMENT.
3. PROVIDE PLUMBING CLEANOUTS IN PARTITIONS AS NECESSARY. COORDINATE ALL WALL LOCATIONS AND PLACEMENT OF COVER PLATES WITH ARCHITECT IN FIELD OR VIA SHOP DRAWINGS.
4. PROVIDE BLOCKING WITHIN PARTITIONS AT ALL LOCATIONS WHERE ITEMS WILL BE MOUNTED ON PARTITIONS.
5. PROVIDE GYPSUM BOARD CONTROL JOINTS IN PARTITIONS AND CEILINGS AT 30'-0" MAX. SPACING. COORDINATE TO MEET FIRE RESISTIVE RATINGS OF THE ASSEMBLY, FIRESTOP JOINTS AT RATED PARTITIONS.
6. WALL, CEILING, BASE, AND FLOOR FINISHES ARE TO BE PROVIDED IN EVERY ROOM UNLESS THE DRAWINGS SPECIFICALLY INDICATE THAT A ROOM OR PORTION THEREOF IS TO REMAIN "UNFINISHED." IF ROOM FINISHES ARE NOT SPECIFICALLY INDICATED, PROVIDE THE SAME FINISHES AS ARE PROVIDED IN THE ROOM ADJACENT TO THE ROOM IN QUESTION, OR OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO BIDDING.
7. WHERE MECHANICAL WORK PENETRATES ANY COMPONENT OF THE FIRE-RATED ASSEMBLY, PROVIDE THE APPROPRIATE FIRE AND/OR SMOKE DAMPERS. IF IT IS NOT CLEAR WHETHER DUCTWORK PENETRATES A PORTION OF THE RATED ASSEMBLY, OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO BIDDING.
8. PROVIDE SEALANT AT ALL JOINTS OR CRACKS WHICH OCCUR WHERE DISSIMILAR MATERIALS INTERSECT PERPENDICULAR TO EACH OTHER, AND THE INTERSECTION IS EXPOSED TO VIEW, UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
9. PAINT ALL EXPOSED STEEL UNLESS NOTED OTHERWISE.
10. ALL MATERIAL COLORS TO BE SUGGESTED BY ARCHITECT, UNLESS NOTED OTHERWISE.
11. PROVIDE FIRE-RETARDANT WOOD WHEREVER WOOD BLOCKING IS SHOWN ON THE DRAWINGS.
12. PROVIDE SLIP JOINT CONNECTIONS AT ALL PARTITIONS THAT EXTEND TO STRUCTURE ABOVE. ALL PARTITIONS TO SUPPORT LATERAL LOADS OF NOT LESS THAN 5#/SF. PROVIDE BRACING ABOVE AS REQUIRED.
13. WHERE DOORS IN PARTITIONS ARE NOT DIMENSIONALLY LOCATED ON THE PLANS PROVIDE A MINIMUM HINGE SIDE JAMB DIMENSION OF 6" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALL.
14. PROPOSED CONSTRUCTION SHALL LINE UP WITH AND MATCH EXISTING WORK EXCEPT WHERE OTHERWISE DETAILED OR DIMENSIONED.
15. SEAL AROUND ALL PENETRATIONS THROUGH EXISTING AND PROPOSED FIRE RATED PARTITIONS. PROVIDE UL APPROVED FIRESTOP SYSTEM TO MEET REQUIRED RATING.



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Table with 2 columns: MARK, DATE. Includes a grid for marking and a vertical 'DESCRIPTION' column.

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LOUISVILLE FIRE PROTECTION DISTRICT LOUISVILLE FIRE STATION 1 - RENOVATION 1240 MAIN ST, LOUISVILLE, CO 80027 PROJECT GENERAL NOTES

SHEET IDENTIFICATION G-002

PARTITION TYPES

TYPE	GRAPHIC SYMBOL	CONSTRUCTION	DESCRIPTION
S1			3 5/8" Metal Studs @ 16" O.C. 5/8" Gypsum Wallboard
S2			5/8" Gypsum Wallboard 3 5/8" Metal Studs @ 16" O.C. 5/8" Gypsum Wallboard
S3			5/8" Type X Gypsum Wallboard 5/8" Type X Gypsum Wallboard 3 5/8" Metal Studs @ 16" O.C. 5/8" Type X Gypsum Wallboard 5/8" Type X Gypsum Wallboard

PARTITION TYPE SUFFIX

- A. 1 1/2" SOUND ATTENUATION BLANKET FLOOR TO CEILING. WHERE PARTITION MEETS CEILING SYSTEM PROVIDE 1 1/2" SOUND ATTENUATION BLANKET ABOVE CEILING 2'-0" EACH SIDE OF PARTITION. SEE ACOUSTICAL PARTITION HEAD.
- B. PROVIDE 3 1/2" BATT INSULATION FLOOR TO CEILING/STRUCTURE.
- C. PROVIDE 20 GA. METAL STUDS @ 16" O.C.
- D. PROVIDE 5/8" CEMENT BACKER BOARD AT CERAMIC TILE WITH 5/8" WATER RESISTANT GYPSUM BOARD ABOVE.
- E. PROVIDE 6" 25 GA. METAL STUDS AT 16" O.C.
- F. PROVIDE 6" CONCRETE MASONRY UNITS.

PARTITION TYPE NOTES

- 1. DIMENSIONS SHOWN ON PLANS ARE FROM FINISH SURFACE TO FINISH SURFACE. MASONRY DIMENSIONS GIVEN ARE NOMINAL. "MO" (MASONRY OPENING) REFERS TO NOMINAL OPENINGS IN MASONRY UNIT CONSTRUCTION. "RO" (ROUGH OPENING) REFERS TO ACTUAL OPENINGS BETWEEN METAL STUDS IN METAL STUD CONSTRUCTION.
- 2. PARTITION TYPES ARE INDICATED ON THE FLOOR PLANS. NUMBERS REFER TO THE PARTITION TYPE. LETTERS INDICATE VARIATIONS TO THE BASE CONDITION DRAWN. UNMARKED PARTITIONS SHALL MATCH ADJACENT PARTITION TYPE.
- 3. ALL PARTITIONS SHALL EXTEND STRUCTURE TO STRUCTURE UNLESS OTHERWISE NOTED. REFER TO PARTITION HEAD DETAILS.
- 4. FIRE-RATED PARTITIONS AND SOUND ISOLATION PARTITIONS ARE INDICATED ON REFLECTED CEILING PLANS.
- 5. CONSTRUCTION OF FIRE-RATED PARTITIONS, INCLUDING TAPING AND FINISHING OF GYPSUM BOARD FOR FULL HEIGHT TO STRUCTURE ABOVE, SHALL BE IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS TO ACHIEVE THE RATING INDICATED.
- 6. SOUND ISOLATION PARTITIONS SHALL BE SEALED AIRTIGHT FOR FULL HEIGHT TO PREVENT PASSAGE OF AIRBORNE SOUND. TAPE AND FINISH ALL GYPSUM BOARD JOINTS AND FASTENERS. PROVIDE SEALANT AT PERIMETER AND AT ALL PENETRATIONS.
- 7. WHEREVER LENGTH OF MASONRY PARTITION EXCEEDS 8'-0" BETWEEN LATERAL SUPPORTS, INSTALL 3" x 3" x 0'-6" x 12 GAUGE FORMED STEEL ANGLES EACH SIDE AT 4'-0" O.C. MAX. ANCHOR EACH ANGLE TO STRUCTURE WITH TWO 1/8" x 15/16" DRIVE PINS. MASONRY SHALL STOP 1" FROM STRUCTURE, AND 1" SPACE SHALL BE FILLED WITH INCOMBUSTIBLE COMPRESSIBLE FILLER.
- 8. HOLLOW METAL FRAMES IN METAL STUD PARTITIONS SHALL HAVE 4 STUD ANCHORS PER JAMB MINIMUM FOR FRAME HEIGHT OF 7'-2" OR LESS, AND ONE ADDITIONAL ANCHOR PER JAMB FOR EACH ADDITIONAL 2'-0" OR FRACTION. HOLLOW METAL FRAMES IN MASONRY SHALL HAVE 3 MASONRY ANCHORS PER JAMB MINIMUM FOR FRAME HEIGHT OF 7'-4" OR LESS, AND ONE ADDITIONAL ANCHOR PER JAMB FOR EACH ADDITIONAL 2'-0" OR FRACTION. ALL HOLLOW METAL FRAMES SHALL HAVE ONE FLOOR CLIP PER JAMB, WITH TWO ANCHORS INTO FLOOR AT EACH FLOOR CLIP.
- 9. PROVIDE JOINT REINFORCEMENT IN ALL MASONRY PARTITIONS, CONTINUOUS HORIZONTALLY AND SPACED NOT OVER 16" ON CENTER VERTICALLY, BEGINNING WITH THE JOINT 8" ABOVE THE FLOOR AND IN THE FIRST AND SECOND JOINTS ABOVE AND BELOW OPENINGS EXTENDING NOT LESS THAN 24" BEYOND EACH SIDE OF THE OPENING.
- 10. PROVIDE FIRE-RETARDANT TREATED WOOD OR SHEET STEEL BLOCKING FOR PARTITION MOUNTED EQUIPMENT AND CASEWORK.
- 11. PARTITION TYPES DESCRIBE THE PRIMARY MEMBER AND SHEATHING. REFER TO FINISH SCHEDULE FOR ALL PARTITION FINISH DESIGNATIONS.
- 12. PROVIDE TYPE WR WATER RESISTANT GYPSUM BOARD IN ALL WET AREAS SUCH AS TOILET ROOMS, SHOWER ROOMS, KITCHENS AND AT EWC'S.
- 13. PROVIDE 5/8" CONCRETE BACKER BOARD AT ALL CERAMIC TILE FINISHES TO ALIGN WITH 5/8" TYPE WR GYPSUM BOARD ABOVE.
- 14. PROVIDE SLIP JOINT CONNECTIONS AT THE TOPS OF ALL PARTITIONS WHICH INTERSECT THE STRUCTURE ABOVE. PROVIDE FIRE SAFING AT ALL SLIP JOINT CONNECTIONS IN FIRE RATED PARTITIONS.
- 15. WHERE NOTED TO PROVIDE SOUND ISOLATION MATERIAL IN WALLS, PROVIDE A STRIP OF ISOLATION BLANKET ABOVE THE CONJOINING WALLS.
- 16. PROVIDE 16 GA. SHEET METAL BLOCKING WALL SHEATHING AT ALL WALL MOUNTED ITEMS AT STUD WALLS AND PARTITIONS. ITEMS SUCH AS SHOWER SEATS AND GRAB BARS ARE TO BE ABLE TO WITHSTAND A VERTICAL FORCE OF 250 LBS.

INTERIOR STUD SIZING GUIDE

HEIGHT	3 5/8" STUD	6" STUD
12' WALL	362S125-30 @ 16"	600S125-30 @ 16"
16' WALL	362S162-43 @ 16"	600S125-30 @ 16"
20' WALL	362S162-68 @ 12"	600S125-33 @ 16"
24' WALL	NA	600S162-43 @ 16"
28' WALL	NA	600S162-54 @ 12"

NOTE: THESE STUD SIZES ARE FOR REFERENCE ONLY. PROVIDE SHOP DRAWINGS FOR PROPOSED WALLS REQUIRING ADDITIONAL STUD ENGINEERING DUE TO STUD HEIGHT. INCLUDE STUD SPACING, GAUGE AND HEIGHT INFORMATION. PROVIDE MANUFACTURERS INFORMATION FOR SELECTED PRODUCTS.



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MARK	DATE	APP'D	DESCRIPTION

ISSUE DATE: MONTH DD, YYYY	CONSULTANT'S PROJECT #
DESIGN BY: Designer	D2C PROJECT NUMBER Project Number
DRAWN BY: Author	CKD BY: Checker
SEAL BY: Approver	PLLOT DATE: 3/14/2024
PLLOT SCALE: As Indicated	PLLOT SCALE: 31/16:48 PM
SIZE: 22" x 34"	FILE NAME:

ISSUED FOR PERMIT



LOUISVILLE FIRE PROTECTION DISTRICT
LOUISVILLE FIRE STATION
1 - RENOVATION
1240 MAIN ST, LOUISVILLE, CO 80027
PARTITION TYPES AND DETAILS

SHEET IDENTIFICATION
A-011

DEMOLITION FLOOR PLAN NOTES

- 1. VERIFICATION OF EXISTING CONDITIONS: IN AS MUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPENDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE ARCHITECT IS NOT RESPONSIBLE FOR CONDITIONS DISCOVERED DURING CONSTRUCTION WHICH DIFFER FROM THOSE INDICATED ON THESE DRAWINGS. THE CONTRACTOR, UPON MAKING SUCH A DISCOVERY, SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR GUIDANCE ON HOW TO PROCEED.
- 2. WHEN REMOVING CMU FROM A BEARING WALL, PROTECT THE FOOTING BELOW TO REMAIN.
- 3. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL FOR ALL CUT AND PATCH OF EXISTING CONCRETE SLAB.
- 4. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING FOR CUT OF OPENINGS IN EXISTING CMU WALLS. SEE STRUCTURAL FOR STEEL LINTELS REQUIRED.
- 5. WHEN REMOVING CONCRETE SLABS AGAINST EXISTING WALLS, USE FLUSH CUT SAW AND CUT A MAXIMUM OF 1/4" OUT FROM WALL.



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DATE

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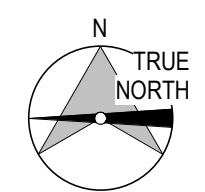
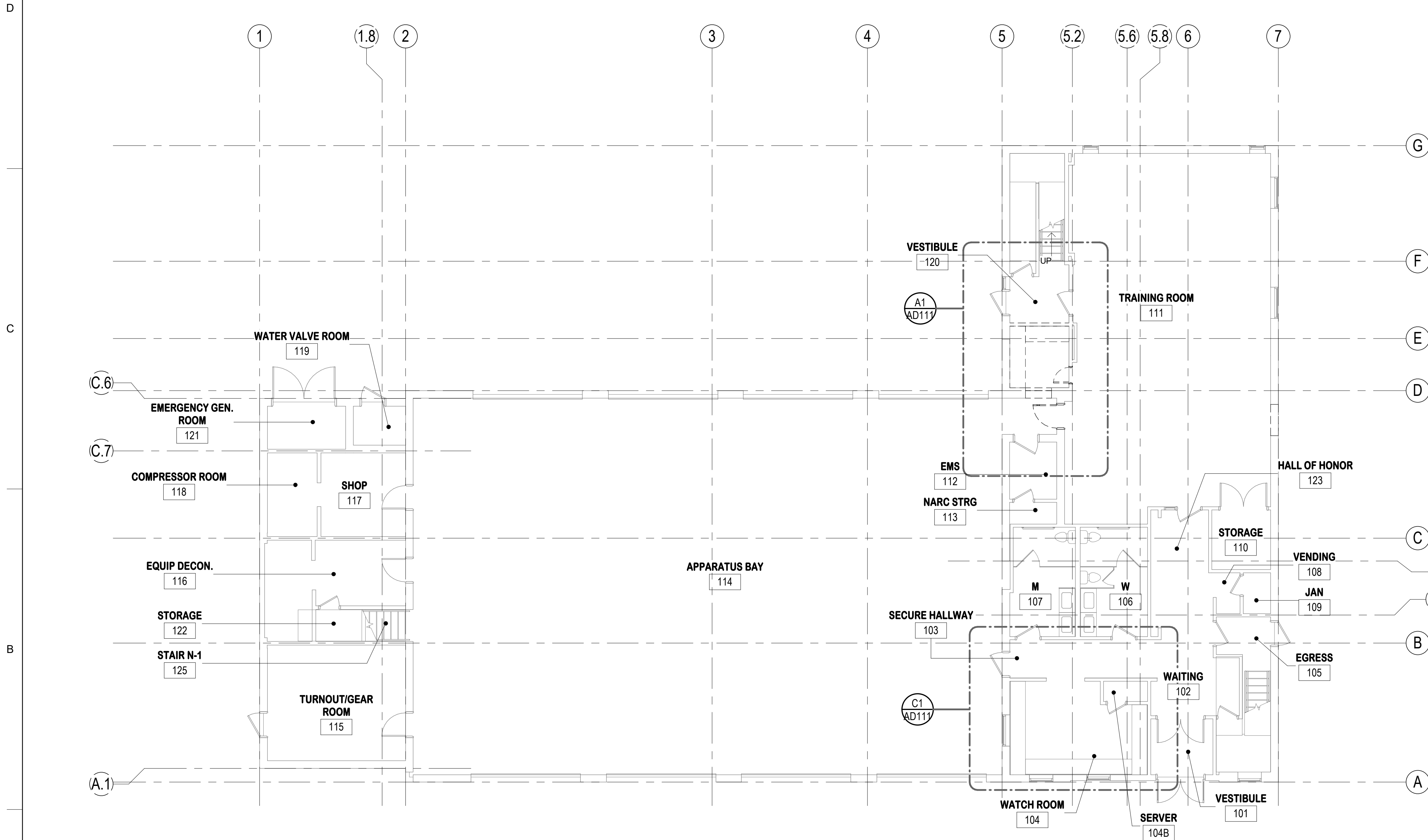
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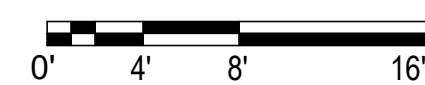


LOUISVILLE FIRE PROTECTION DISTRICT
LOUISVILLE FIRE STATION
1 - RENOVATION
1240 MAIN ST., LOUISVILLE, CO 80027
OVERALL DEMO PLAN - FIRST FLOOR

SHEET IDENTIFICATION
AD101



A1 OVERALL FIRST FLOOR PLAN - DEMO
 AD101 1/8" = 1'-0"



D

C

B

A

1

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DEMOLITION FLOOR PLAN NOTES

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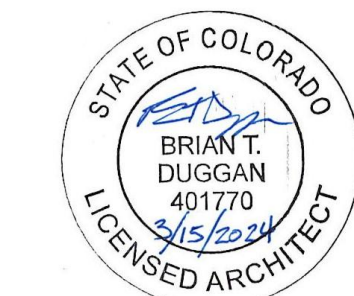
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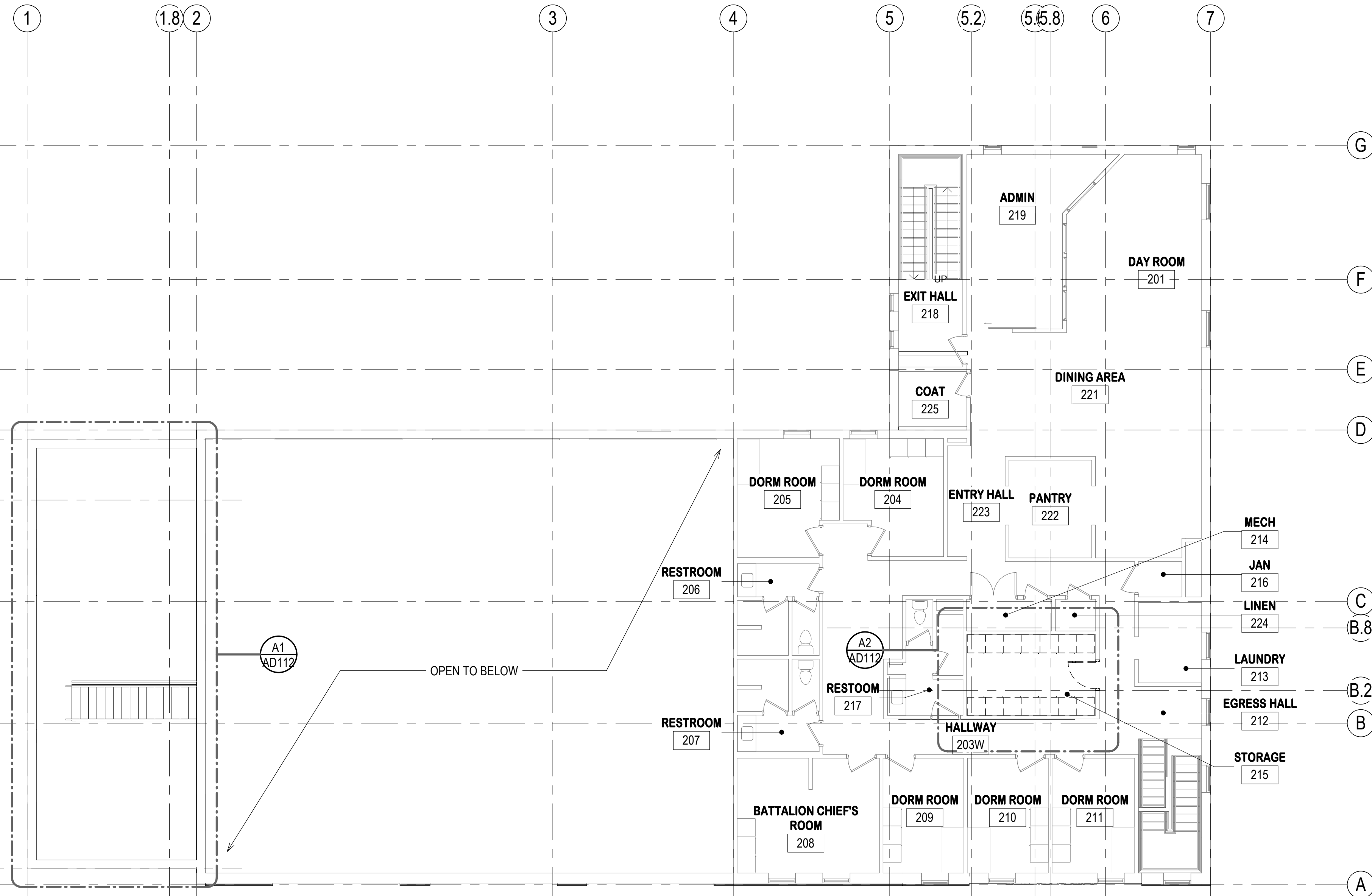
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Approver	3/4/2024
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FILE NAME:	FILE NUMBER:
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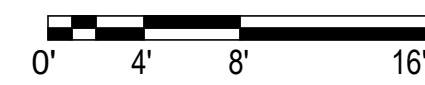


LOUISVILLE FIRE PROTECTION DISTRICT
LOUISVILLE FIRE STATION
1 - RENOVATION
1240 MAIN ST, LOUISVILLE, CO 80027
OVERALL DEMO PLAN - SECOND FLOOR

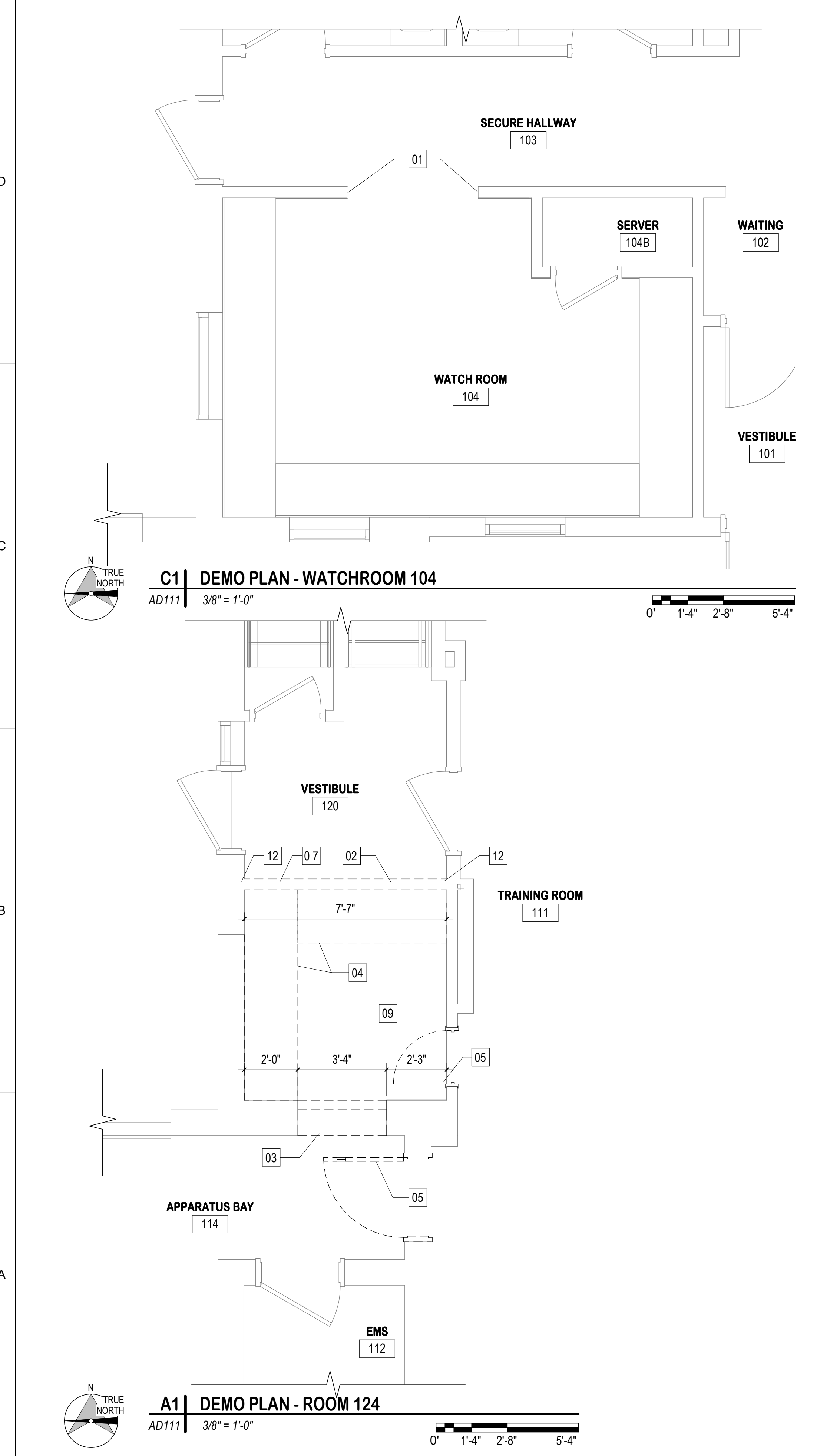
SHEET IDENTIFICATION
AD102



A1 | OVERALL SECOND FLOOR PLAN - DEMO
AD102 | 1/8" = 1'-0"



AD102-



DEMOLITION KEY NOTES

KEY NO.	DESCRIPTION
01	CAREFULLY REMOVE AND DISPOSE OF EXISTING TRIM. PATCH AND REPAIR AS REQUIRED.
02	CAREFULLY REMOVE AND DISPOSE OF PARTITION IN ITS ENTIRETY.
03	CAREFULLY REMOVE AND DISPOSE OF PORTION OF EXISTING INFILL AS REQUIRED FOR INSTALLATION OF DOOR. DEMO TO BOTTOM OF EXISTING LINTEL.
04	CAREFULLY REMOVE AND DISPOSE OF EXISTING WORK SURFACE. PATCH AND REPAIR ADJACENT SURFACES AS NECESSARY TO PREPARE FOR SCHEDULED FINISHES.
05	CAREFULLY REMOVE AND RETURN DOOR TO OWNER STOCK. DEMO EXISTING FRAME.
06	CAREFULLY REMOVE AND SALVAGE DOOR FOR RELOCATION. PREPARE FRAME AS NECESSARY FOR INSTALLATION OF DOOR.
07	REMOVE AND RELOCATE WALL HEATER; RE: MECH
08	CAREFULLY REMOVE AND DISPOSE OF EXISTING GUARD RAIL AND WALL ANCHORING. PATCH AND REPAIR CMU AS REQUIRED FOR INSTALLATION OF WINDOWS.
09	CAREFULLY REMOVE AND DISPOSE OF EXISTING FLOOR AND BASE FINISH. PATCH AND REPAIR ADJACENT SURFACES AS NECESSARY TO PREPARE FOR SCHEDULED FINISHES.
10	CAREFULLY REMOVE AND SALVAGE EXISTING LOCKERS. RETURN LOCKERS TO OWNER STOCK.
11	PROTECT EXISTING FLOOR FINISH AND WALL BASE DURING RENOVATION.
12	PATCH AND REPAIR ADJACENT SURFACES FROM PARTITION REMOVAL.

DEMOLITION GENERAL NOTES

- DEMOLITION REQUIRES THE SELECTIVE REMOVAL AND SUBSEQUENT REUSE, RECYCLE OR DISPOSAL OF THE EXISTING BUILDING AS INDICATED ON THE DRAWINGS.
- DIMENSIONS SHOWN ON DEMOLITION DRAWINGS ARE APPROXIMATE. VERIFY REQUIREMENTS OF PROPOSED CONSTRUCTION PRIOR TO COMMENCING DEMOLITION WORK.
- PROVIDE LINTELS IN PROPOSED OPENINGS IN EXISTING MASONRY WALLS. REFER TO STRUCTURAL LOOSE LINTEL SCHEDULE FOR SIZES AND SUPPORT AT OPENINGS AS WELL AS STRUCTURAL DETAILS.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL CUTTING AND PATCHING WITH THEIR SUBCONTRACTORS DURING BIDDING AND DURING CONSTRUCTION. IT IS NOT THE INTENTION OF THESE DOCUMENTS TO ASSIGN TASKS.
- ALL CONTRACTORS SHALL VISIT THE JOB SITE AND COMPLETELY FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS PRIOR TO BID.
- ALL DIMENSIONS ARE FROM FINISH SURFACE TO FINISH SURFACE.
- SAWCUT AND REMOVE THE EXISTING CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF MECHANICAL AND ELECTRICAL. PROVIDE CONCRETE PATCH TO MATCH EXISTING.
- SAWCUT AND CORE DRILL TO ACCOMMODATE PROPOSED MECHANICAL AND ELECTRICAL PENETRATIONS. COORDINATE QUANTITIES AND LOCATIONS WITH MECHANICAL AND ELECTRICAL DOCUMENTS. PROVIDE FIRESTOPPING AT PENETRATIONS.
- PERFORM DEMOLITION IN AN ORDERLY AND CAREFUL MANNER IN WHICH TO ACCOMMODATE THE PROPOSED CONSTRUCTION.
- PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER. RETURN STRUCTURES AND SURFACES TO THE CONDITION EXISTING PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK.
- RELOCATION OF PIPES, CONDUITS, DUCTS, AND OTHER MECHANICAL OR ELECTRICAL WORK IS SPECIFIED BY RESPECTIVE TRADES. REFER TO MECHANICAL OR ELECTRICAL DEMOLITION REQUIREMENTS. PATCH AREAS AT MECHANICAL OR ELECTRICAL DEMOLITION AREAS TO MATCH ADJACENT SURFACES.
- CUTTING AND PATCHING INCLUDES CUTTING INTO EXISTING CONSTRUCTION TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK AND SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE SURFACES TO THEIR ORIGINAL CONDITION.
- DO NOT CUT AND PATCH WORK IN A MANNER THAT WOULD RESULT IN SUBSTANTIAL VISUAL EVIDENCE OF CUT AND PATCH WORK. REMOVE AND REPLACE WORK JUDGED BY THE ARCHITECT TO HAVE BEEN CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.
- REMOVE HVAC, PLUMBING, ELECTRICAL, AND ARCHITECTURAL ELEMENTS INDICATED FOR DEMOLITION IN THEIR ENTIRETY. DO NOT ABANDON IN PLACE UNLESS NOTED OTHERWISE.
- PATCH AND PREP EXISTING FLOORS, WALLS, AND CEILINGS REMAINING TO AN ACCEPTABLE SUBSTRATE CONDITION FOR PROPOSED FINISHES.
- PROTECT EXISTING FINISH WORK, EQUIPMENT, AND FIXTURES FROM DAMAGE DUE TO DEMOLITION AND SUBSEQUENT CONSTRUCTION. PROVIDE FLOOR COVERING TO PROTECT EXISTING FLOOR FINISH TO REMAIN.

- REMOVE AND RECYCLE/DISPOSE ALL MATERIALS, EQUIPMENT, AND DEMOLITION DEBRIS AT THE END OF EACH WORKING DAY. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT, AND DEMOLITION DEBRIS FROM SITE. REMOVE PROTECTIVE COVERINGS AND LEAVE INTERIOR AREAS BROOM CLEAN.
- FILL ABANDONED UNDERGROUND WASTE LINES WITH CONCRETE FROM TERMINUS TO WHERE IT CONNECTS TO THE MAIN SEWER LINE.
- REMOVE ALL CARPET, VCT, CERAMIC TILE AND ADHESIVES TO PROVIDE ACCEPTABLE CONCRETE SUBSTRATE FOR FINISH WORK.
- ALL WALLS TO BE REMOVED ARE CMU OR GYPSUM BOARD ON METAL STUD AS INDICATED. SLAB TO BE GROUND AND REPAIRED SMOOTH AT ALL AREAS.
- HALL FLOOR IS TO REMAIN AS IS. PROTECT FLOOR AS NEEDED DURING CONSTRUCTION SO AS NOT TO DAMAGE THE FINISH SURFACE.
- REMOVE EXISTING GYP BD CEILING IN ITS AS NOTED.
- PROTECT EXISTING UNDERGROUND UTILITIES TO REMAIN. LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.
- GRIND SLAB AT ALL AREAS TO RECEIVE DYED CONCRETE TO EXPOSED AGGREGATE.
- CONTRACTOR AND OWNER SHALL PERFORM AN INSPECTION OF ALL OWNER SALVAGE ITEMS. PRODUCE WRITTEN DOCUMENTATION OF THE CONDITION OF EACH ITEM PRIOR TO REMOVAL.
- PROVIDE CARE IN THE REMOVAL OF ALL ITEMS LISTED AS OWNER SALVAGE. COORDINATE TEMPORARY STORAGE WITH OWNER. INSTALL TO FULLY FUNCTIONAL CONDITION AT LOCATION INDICATED ON DRAWINGS. REFINISH AS SCHEDULED.
- IN AREAS SCHEDULED TO RECEIVE A CHANGE IN ROOM FINISHES:
 - REMOVE EXISTING FLOOR FINISHES, ADHESIVES OR SETTING BED. TO CONCRETE SUBSTRATE. PATCH & REPAIR TO PROVIDE ACCEPTABLE SUBSTRATE TO RECEIVE FLOOR FINISH SCHEDULED.
 - REMOVE EXISTING RESILIENT BASE AND ADHESIVE. PATCH & REPAIR GYPSUM BOARD & CMU TO PROVIDE AN ACCEPTABLE SURFACE FOR SCHEDULED BASE.
 - REMOVE EXISTING WALL FINISHES, ADHESIVE OR SETTING BED. REFINISH WALL TO PROVIDE AN ACCEPTABLE SURFACE FOR SCHEDULED WALL FINISH.
- THE OWNER IS TO VACATE DEMO SPACES PRIOR TO G.C. TAKING THE SPACE. G.C. TO COORDINATE WITH OWNER PRIOR TO DEMOLITION.
- THE ORDER OF DEMOLISHED ITEMS:
 - OWNER REUSE
 - G.C. TO RECYCLE THE ITEMS AS MUCH AS POSSIBLE
 - ITEMS GO TO TRASH
- ITEMS TO BE REUSED ARE TO BE STOCKPILED AND PROTECTED UNTIL PUT BACK IN SERVICE.
- REMOVE ALL EXISTING SIGNAGE, DISPLAY BOARDS AND OTHER ITEMS ATTACHED TO WALLS. RETAIN FOR OWNER REUSE.



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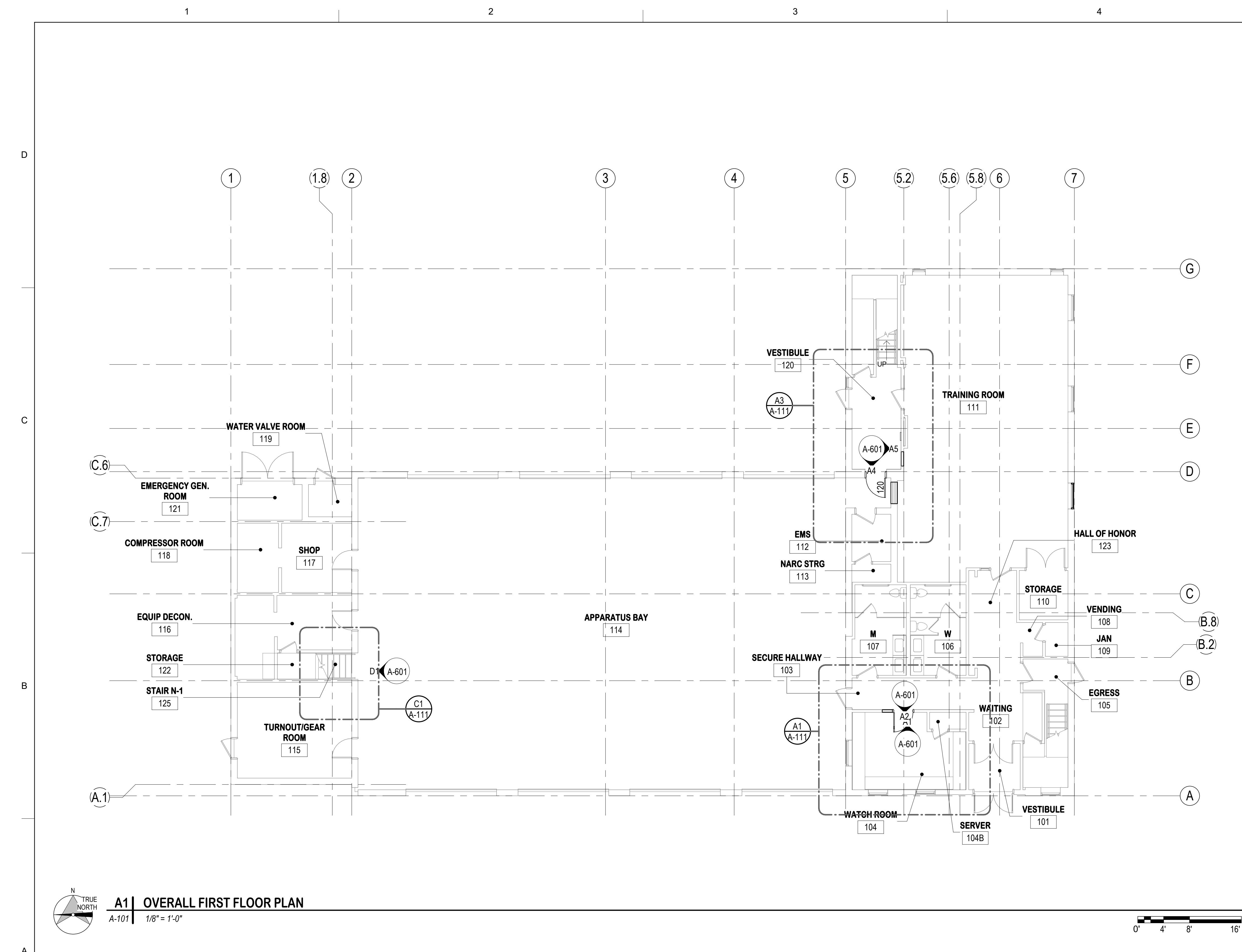
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		22' x 34'

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LOUISVILLE FIRE PROTECTION DISTRICT
**LOUISVILLE FIRE STATION
1 - RENOVATION**
1240 MAIN ST, LOUISVILLE, CO 80027
**ENLARGED DEMO PLANS - FIRST
FLOOR**

**SHEET IDENTIFICATION
AD111**



FLOOR PLAN NOTES

1. DIMENSIONS INDICATED ARE TO FACES OF CMU/STUD/STRUCTURE MATERIALS AND GRID LINES (TYPICAL), UNLESS NOTED OTHERWISE.
2. WHERE DOORS IN METAL STUD/GYPSUM BOARD PARTITIONS ARE NOT SPECIFICALLY LOCATED ON THE PLANS WITH DIMENSION STRINGS, PROVIDE A MINIMUM HINGE-SIDE JAMB DIMENSION OF 6" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS. WHERE DOORS APPEAR TO BE CENTERED WITHIN CORRIDORS, LOCATE THE DOORS IN THE CENTER OF THE CORRIDOR.
3. AT ALL FORMER ELECTRICAL OUTLET & SWITCH LOCATIONS IN CMU WALL GROUT J-BOX FULL.
4. AFTER REMOVAL OF EXISTING CMU PARTITION GRIND CONCRETE SLAB SMOOTH TO PROVIDE ACCEPTABLE SUBSTRATE FOR FINISH, PER A&E.
5. AFTER REMOVAL OF EXISTING CMU PARTITION, PATCH REMAINING ADJACENT CMU PARTITION TO PROVIDE ACCEPTABLE SUBSTRATE FOR FINISH.
6. PROVIDE SHEET STEEL BLOCKING AT ALL AREAS FOR OWNER OR CONTRACTOR FURNISHED EQUIPMENT.
7. PROVIDE SEALANT AT ALL CONCRETE SLAB TO WALL INTERSECTIONS.
8. WHERE A WALL IS TO BE INFILLED, INFILL IS TO MATCH EXISTING FIRE RATING. CONTRACTOR TO VERIFY FIRE RATING OF EXISTING WALLS.

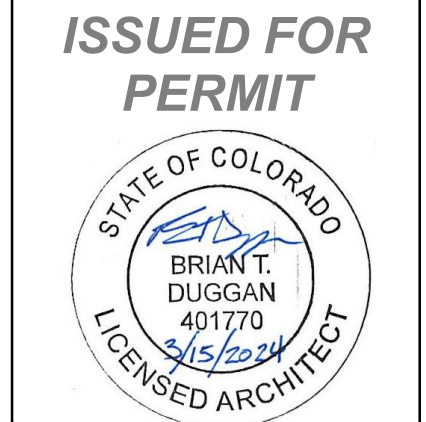


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D2C PROJECT NUMBER		CHECK BY:	
Project Number		Author	



LOUISVILLE FIRE PROTECTION DISTRICT
**LOUISVILLE FIRE STATION
1 - RENOVATION**
1240 MAIN ST, LOUISVILLE, CO 80027

**OVERALL FLOOR PLAN - FIRST
FLOOR**

**SHEET
IDENTIFICATION
A-101**

A1 | OVERALL FIRST FLOOR PLAN
A-101 | 1/8" = 1'-0"

A-101-

FLOOR PLAN NOTES

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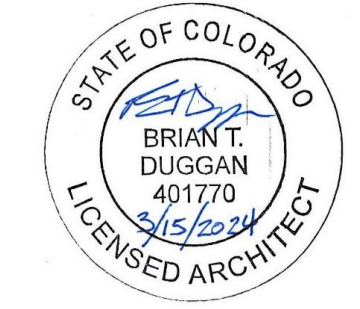
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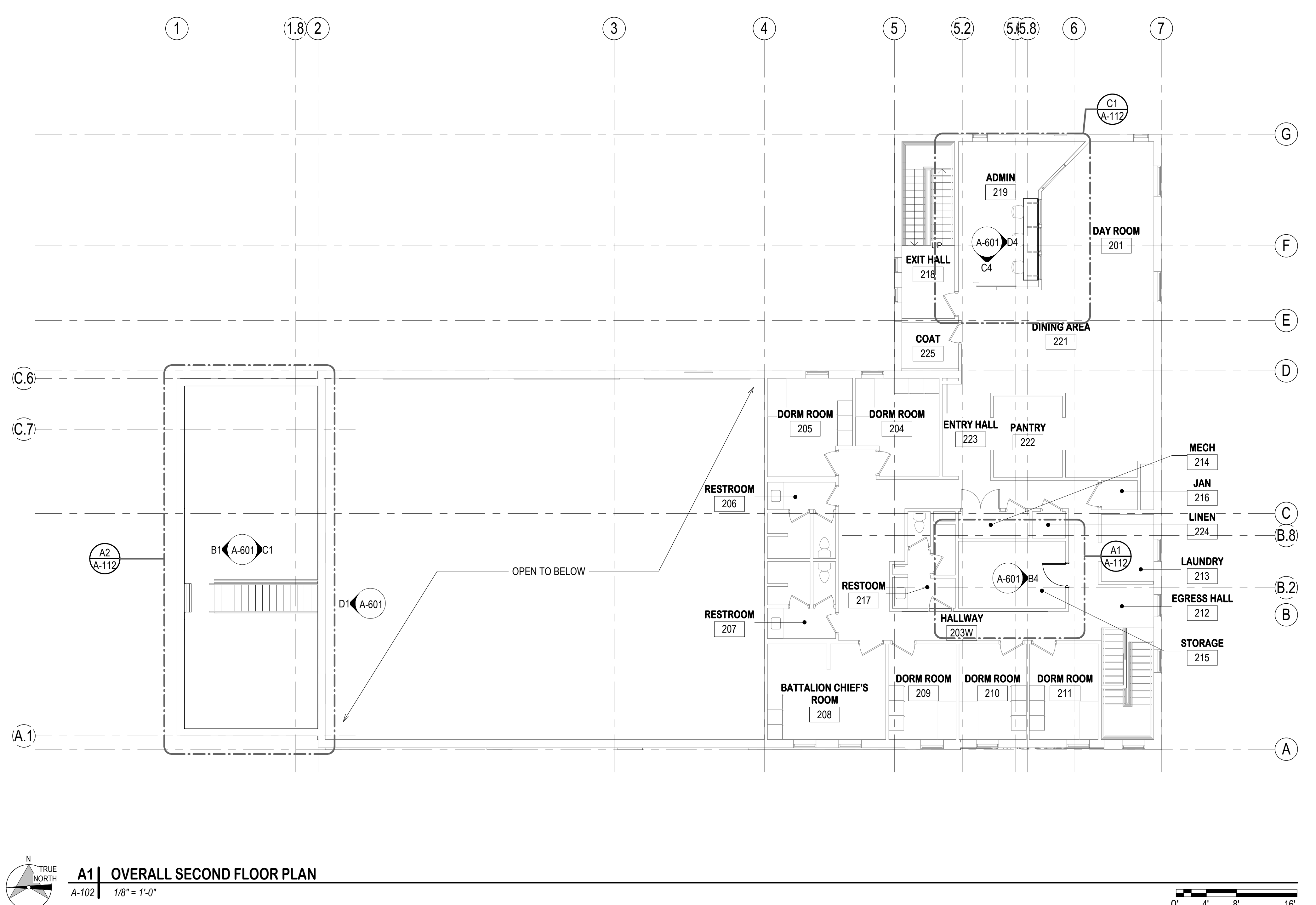
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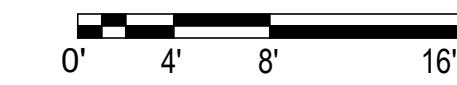


LOUISVILLE FIRE PROTECTION DISTRICT
LOUISVILLE FIRE STATION
1 - RENOVATION
1240 MAIN ST, LOUISVILLE, CO 80027
OVERALL FLOOR PLAN - SECOND
FLOOR

SHEET
IDENTIFICATION
A-102



A1 | OVERALL SECOND FLOOR PLAN
A-102 | 1/8" = 1'-0"



A-102-

1

2

3

4

5

FLOOR PLAN NOTES

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DRAWN BY: Author	CHK BY: Checker	SOLICITATION NO.:
APPROVED BY: Approver	PLLOT DATE:	CONTRACT NO.:
FILE NUMBER	FILE NAME:	FILE NUMBER

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LOUISVILLE FIRE PROTECTION DISTRICT
LOUISVILLE FIRE STATION
1 - RENOVATION
1240 MAIN ST., LOUISVILLE, CO 80027
ENLARGED FLOOR PLANS - FIRST FLOOR

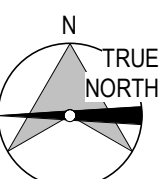
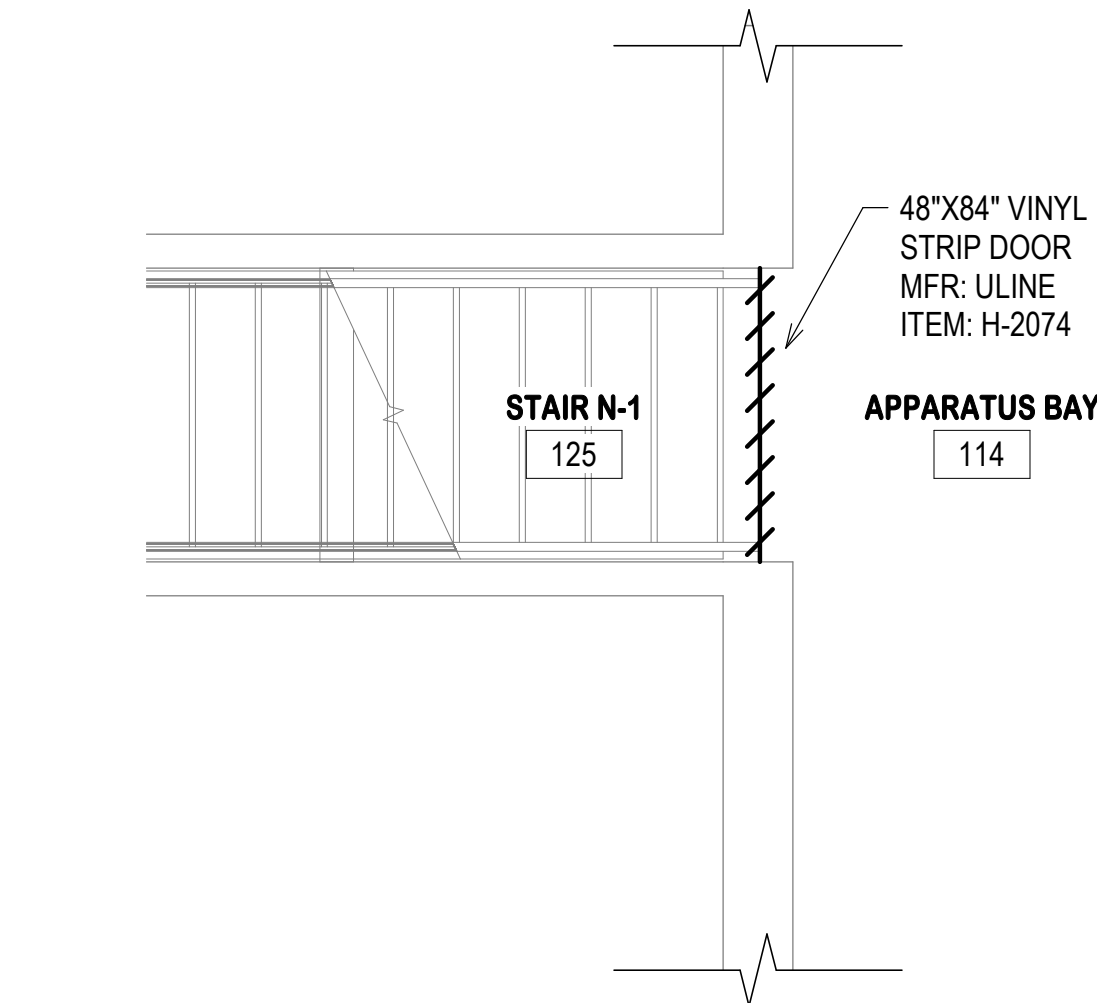
SHEET IDENTIFICATION
A-111

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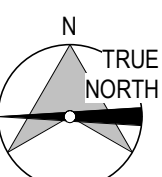
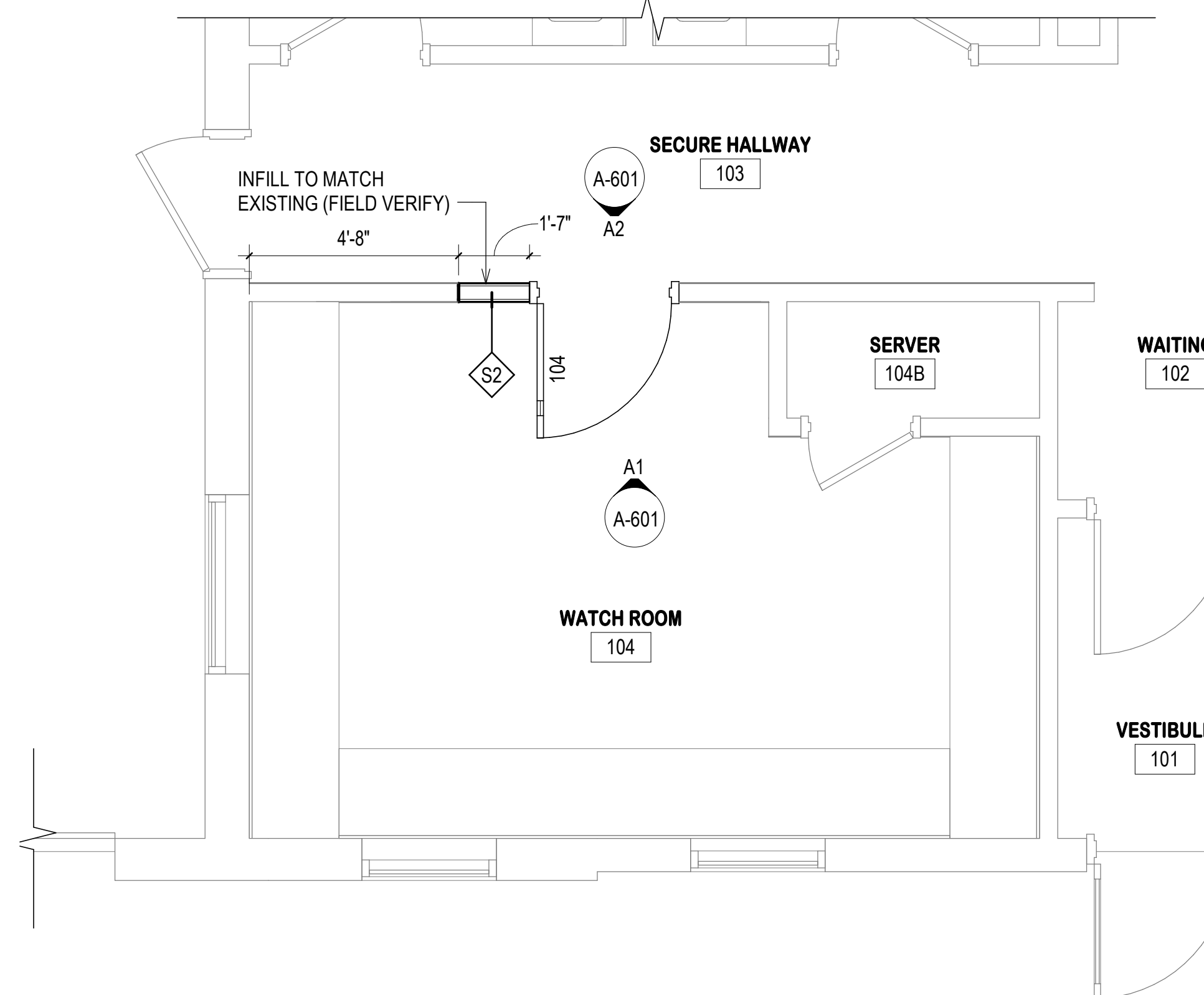
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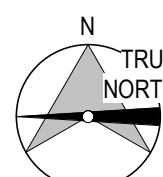
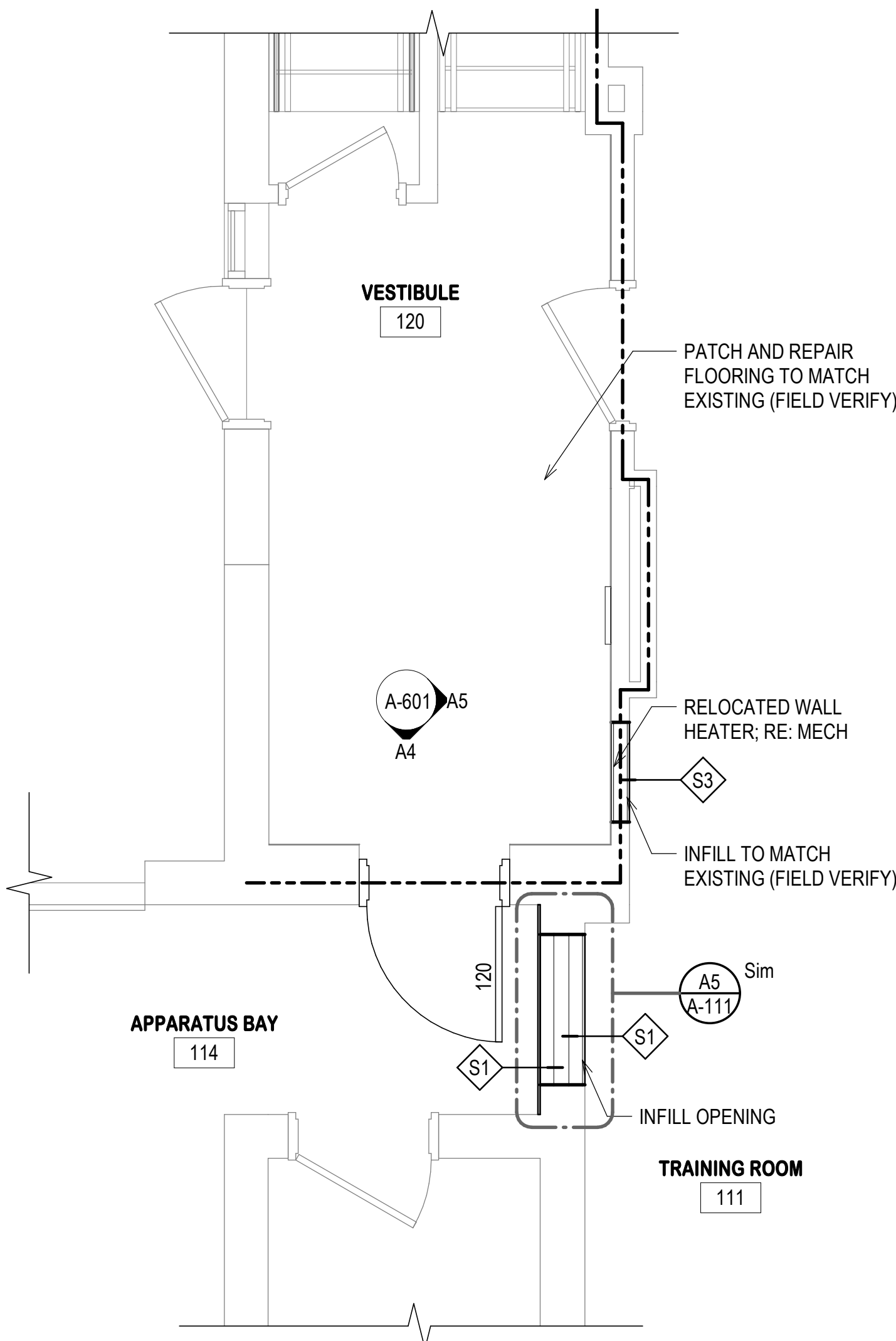
C1 | OVERALL FIRST FLOOR PLAN - STAIRWAY 125

A-111 3/8" = 1'-0" 0' 1'-4" 2'-8" 5'-4"



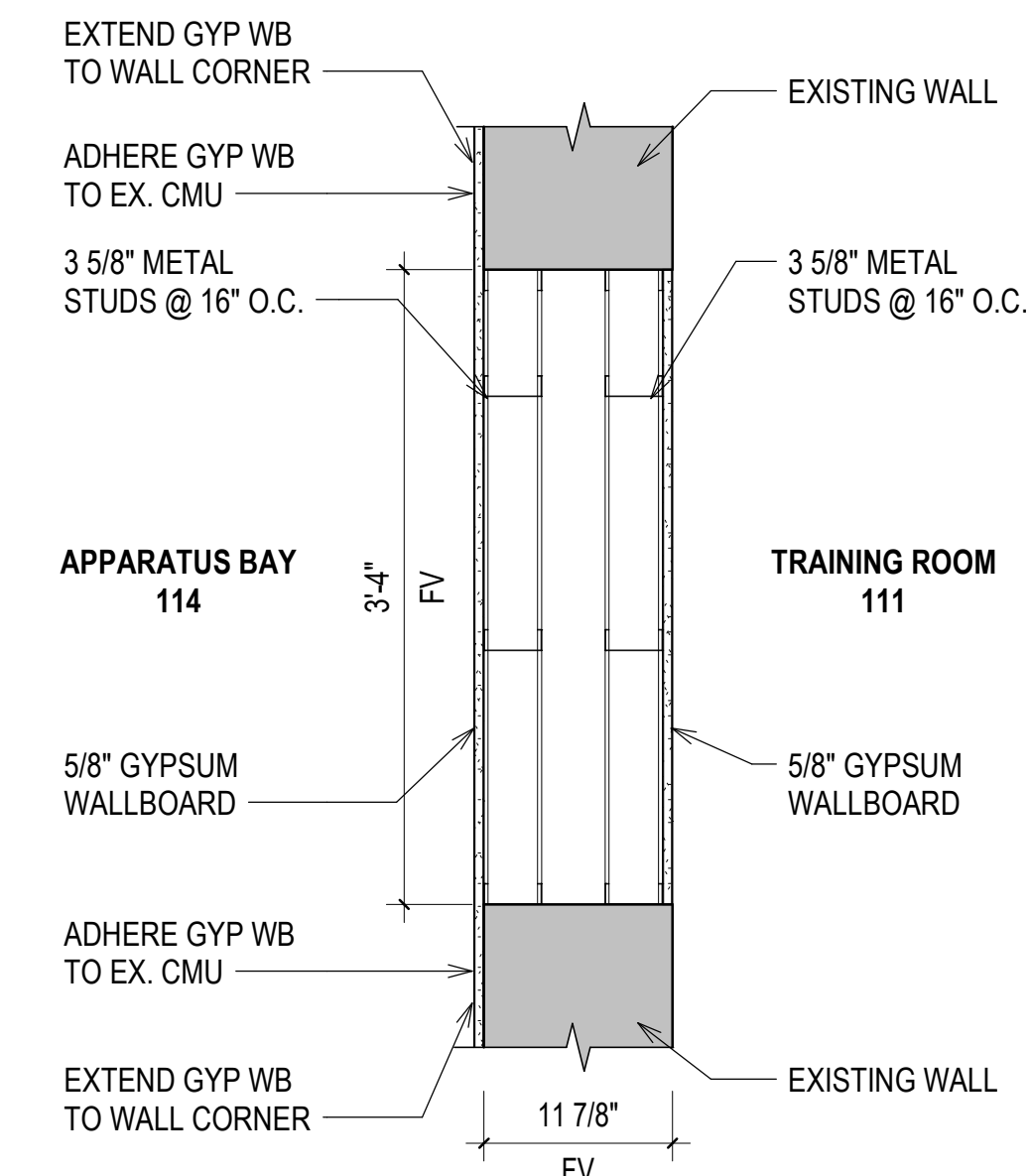
A1 | ENLARGED FLOOR PLAN - WATCHROOM 104

A-111 3/8" = 1'-0" 0' 1'-4" 2'-8" 5'-4"



A3 | ENLARGED FLOOR PLAN - ROOM 124

A-111 3/8" = 1'-0" 0' 1'-4" 2'-8" 5'-4"



A5 | INFILL WALL DETAIL - TRAINING ROOM 111

A-111 1" = 1'-0" 0' 1'-4" 2'-8" 5'-4"

A-111-

1 2 3 4 5

FLOOR PLAN NOTES

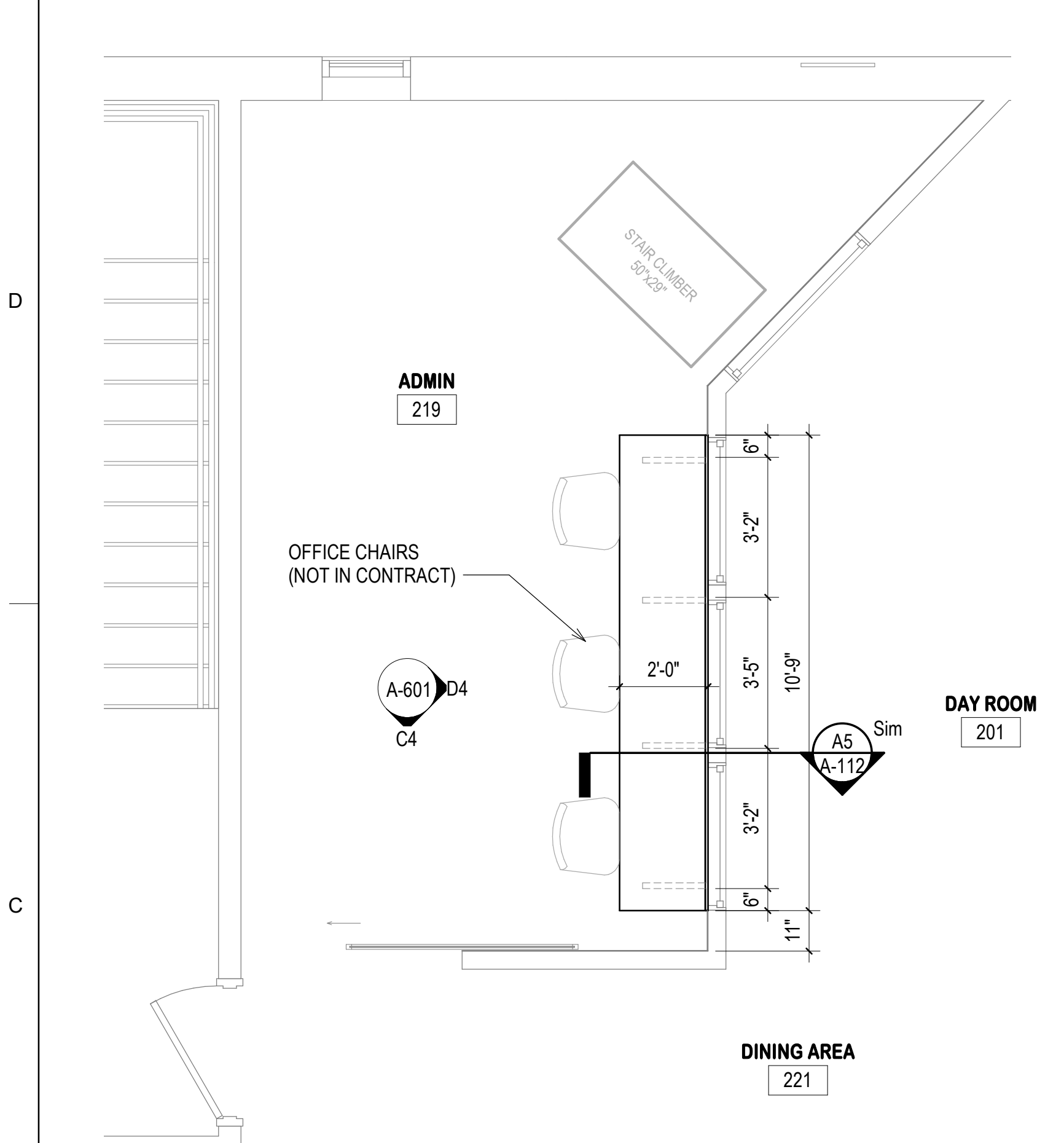
1. DIMENSIONS INDICATED ARE TO FACES OF CMU/STUD/STRUCTURE MATERIALS AND GRID LINES (TYPICAL), UNLESS NOTED OTHERWISE.
2. WHERE DOORS IN METAL STUD/GYPSUM BOARD PARTITIONS ARE NOT SPECIFICALLY LOCATED ON THE PLANS WITH DIMENSION STRINGS, PROVIDE A MINIMUM HINGE-SIDE JAMB DIMENSION OF 6" FROM DOOR OPENING TO ADJACENT PERPENDICULAR WALLS. WHERE DOORS APPEAR TO BE CENTERED WITHIN CORRIDORS, LOCATE THE DOORS IN THE CENTER OF THE CORRIDOR.
3. AT ALL FORMER ELECTRICAL OUTLET & SWITCH LOCATIONS IN CMU WALL GROUT J-BOX FULL.
4. AFTER REMOVAL OF EXISTING CMU PARTITION GRIND CONCRETE SLAB SMOOTH TO PROVIDE ACCEPTABLE SUBSTRATE FOR FINISH, PER A&E.
5. AFTER REMOVAL OF EXISTING CMU PARTITION, PATCH REMAINING ADJACENT CMU PARTITION TO PROVIDE ACCEPTABLE SUBSTRATE FOR FINISH.
6. PROVIDE SHEET STEEL BLOCKING AT ALL AREAS FOR OWNER OR CONTRACTOR FURNISHED EQUIPMENT.
7. PROVIDE SEALANT AT ALL CONCRETE SLAB TO WALL INTERSECTIONS.
8. WHERE A WALL IS TO BE INFILLED, INFILL IS TO MATCH EXISTING FIRE RATING. CONTRACTOR TO VERIFY FIRE RATING OF EXISTING WALLS.

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ARCHITECTS

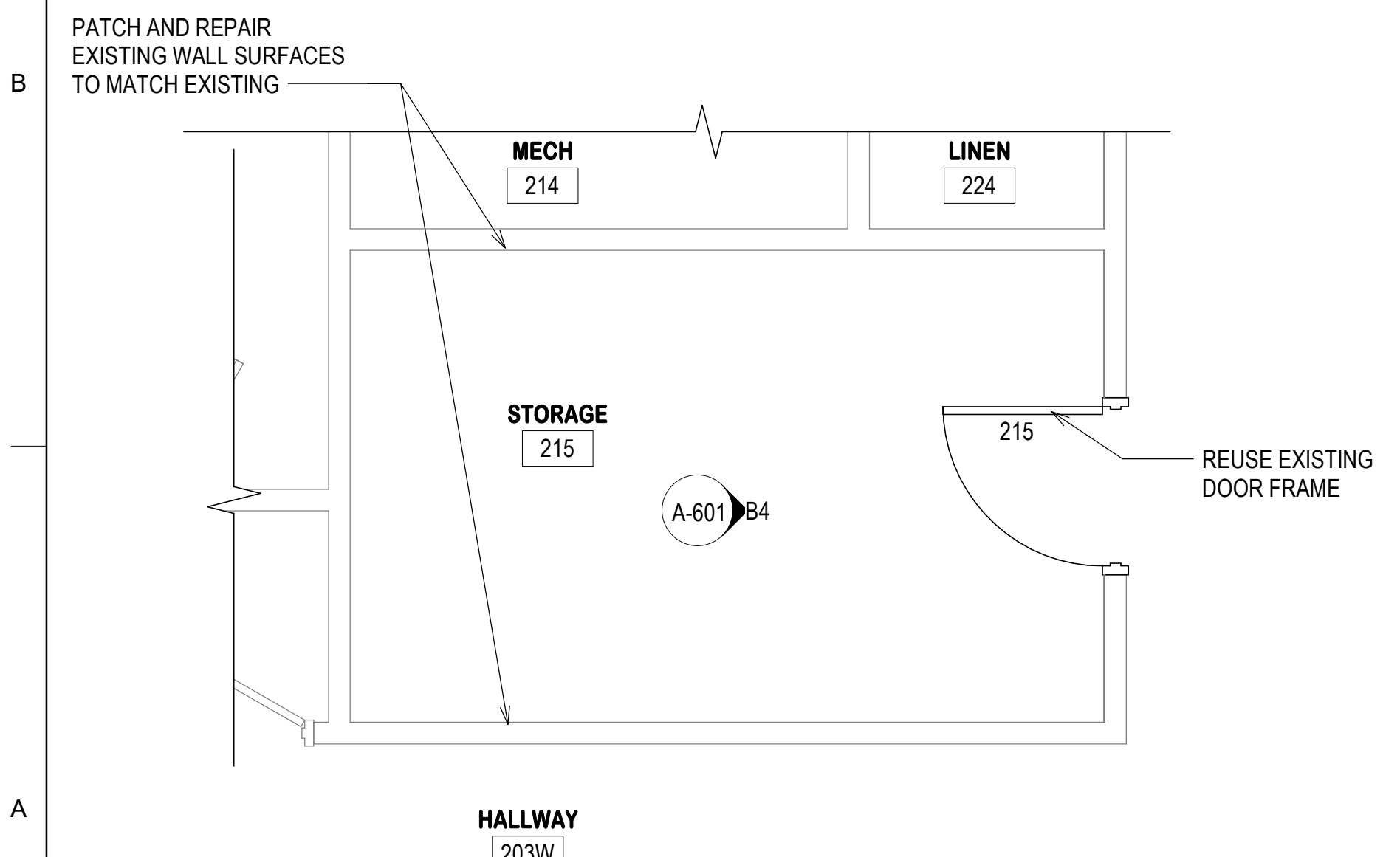
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DENVER, COLORADO
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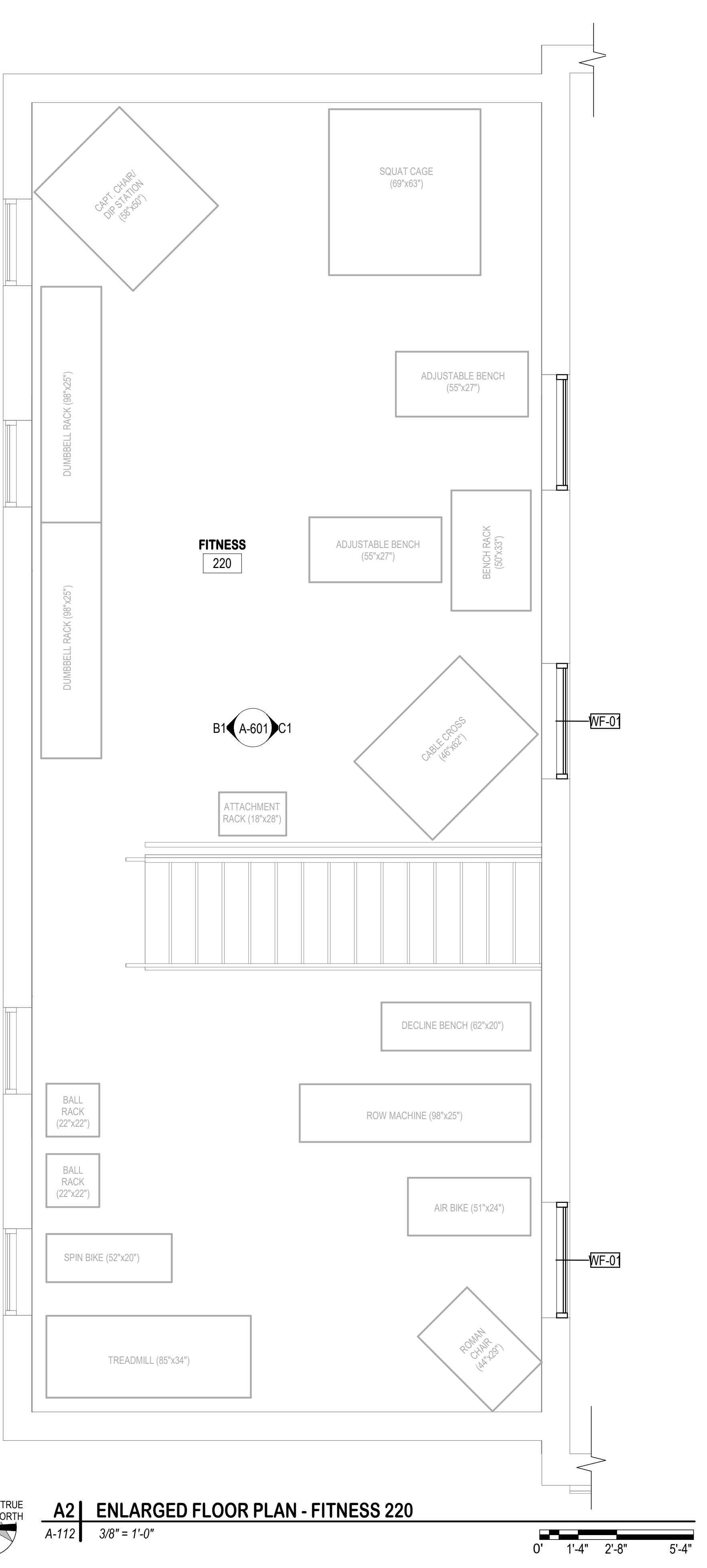
MARK	DESCRIPTION	DATE	APP'D



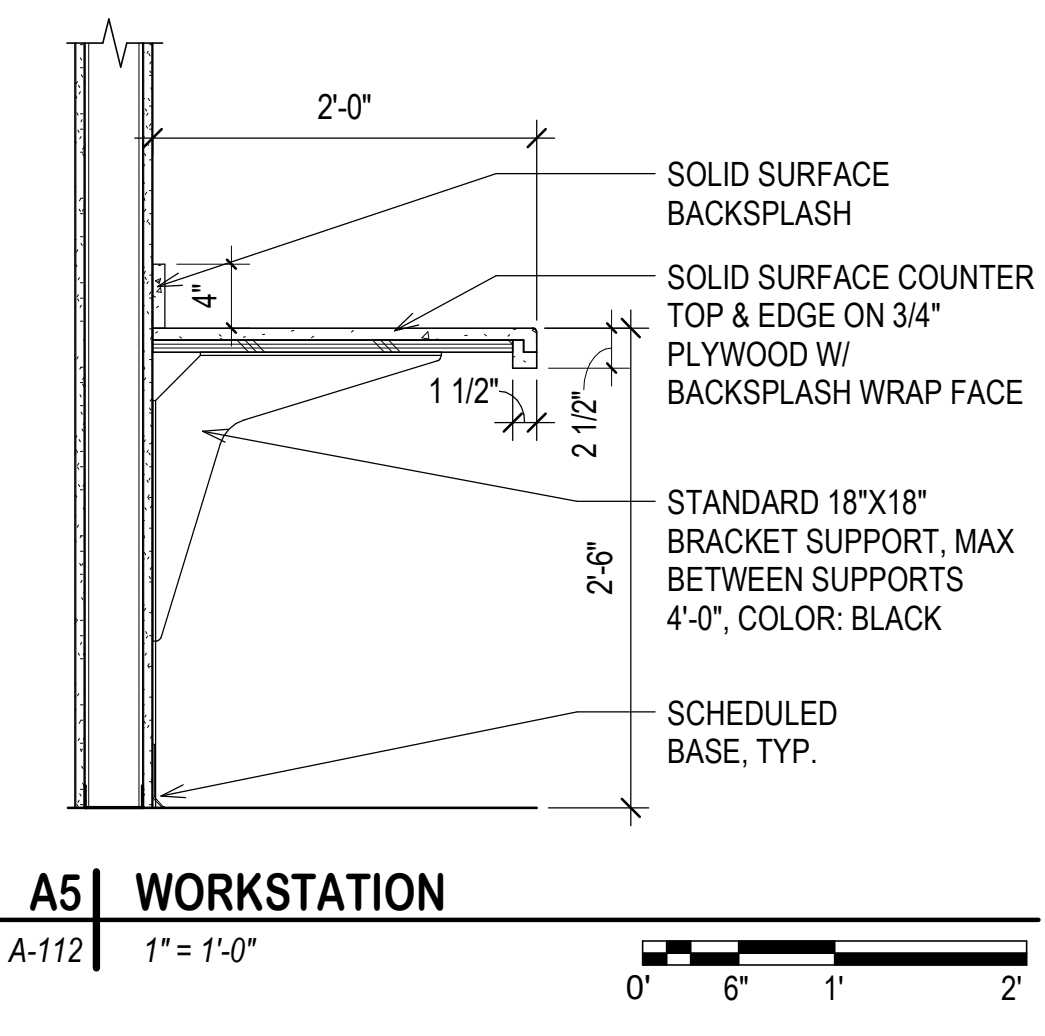
C1 ENLARGED FLOOR PLAN - ADMIN 219
A-112 3/8" = 1'-0"



A1 ENLARGED FLOOR PLAN - STORAGE 215
A-112 3/8" = 1'-0"



A2 ENLARGED FLOOR PLAN - FITNESS 220
A-112 3/8" = 1'-0"



ISSUE DATE: MONTH DD, YYYY	CONSULTANT'S PROJECT #
DESIGN BY: Designer	D2C PROJECT NUMBER Project Number
DESIGNED BY: Author	CHECK BY: Checker
APPROVED BY: Approver	PLOT DATE: 3/14/2024
DATE INDICATED: As Indicated	PLOT SCALE: 3/16/51 PM
FILE NAME:	FILE NUMBER:

ISSUED FOR PERMIT
STATE OF COLORADO
BRIAN T. DUGGAN
401770
4/15/2024
LICENSED ARCHITECT

LOUISVILLE FIRE PROTECTION DISTRICT
LOUISVILLE FIRE STATION
1 - RENOVATION
1240 MAIN ST., LOUISVILLE, CO 80027
ENLARGED FLOOR PLANS -
SECOND FLOOR

SHEET IDENTIFICATION
A-112

A-112-

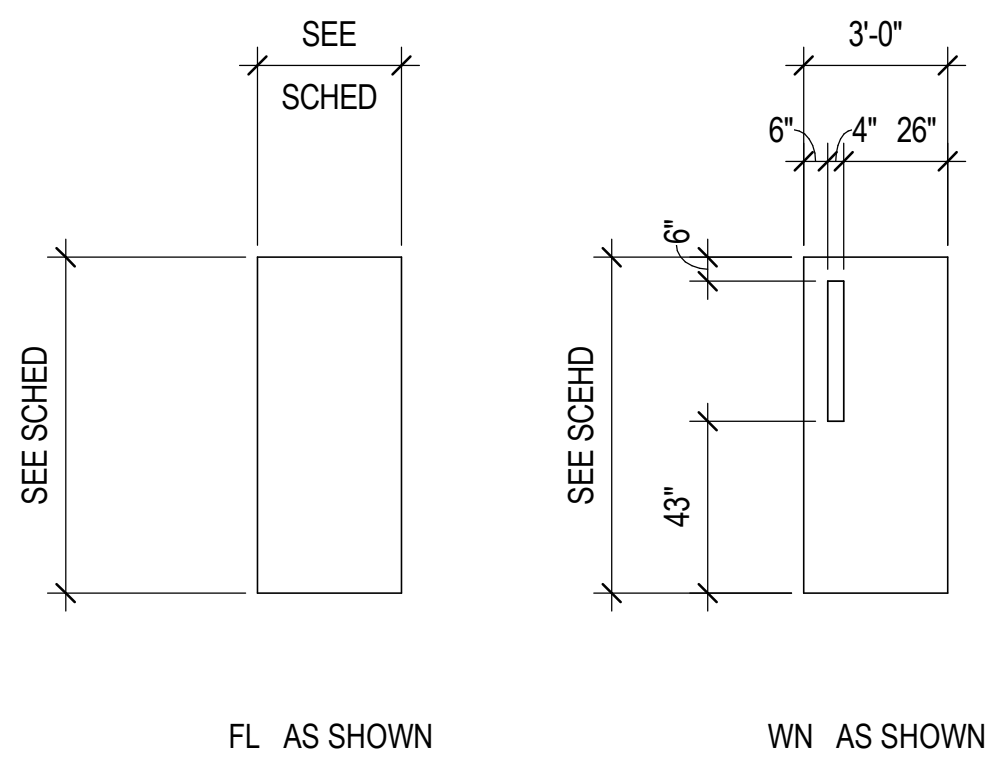
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2

3

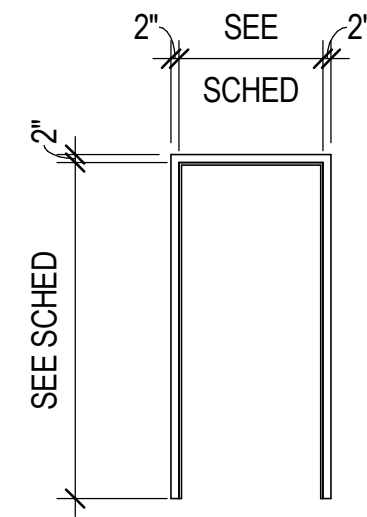
4

5



DOOR TYPES

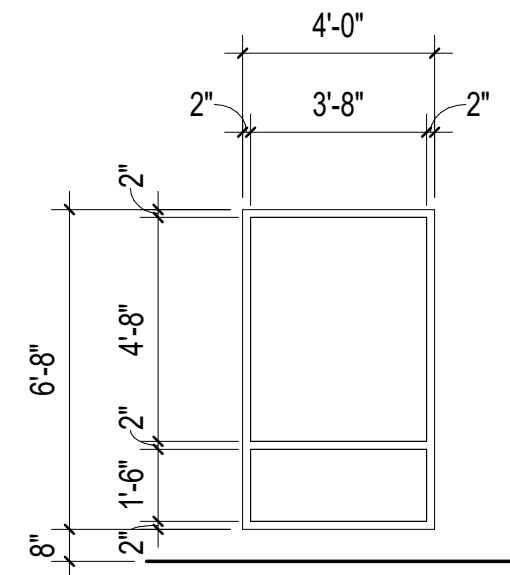
1/4" = 1'-0"



DF-01 AS SHOWN

DOOR FRAME TYPES

1/4" = 1'-0"



WF-01 AS SHOWN

WINDOW FRAME TYPES

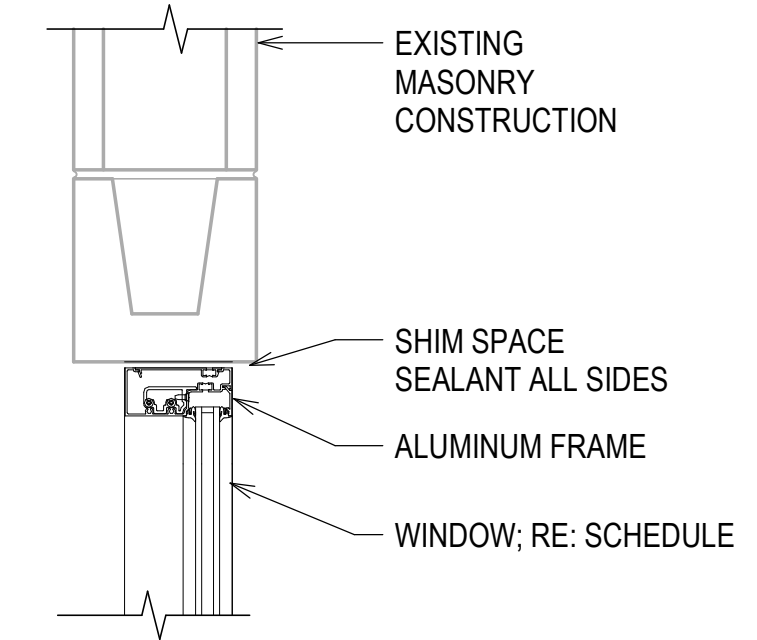
1/4" = 1'-0"

DOOR AND FRAME SCHEDULE

NUMBER	NOMINAL DIMENSIONS			DOORS			DOOR FRAMES			DETAILS		FIRE RATING	HWRE. GRP.	REMARKS
	WIDTH	HEIGHT	THICKNESS	TYPE	CONST.	FINISH	TYPE	MAT.	FINISH	HEAD	JAMB			
104	3'-0"	7'-0"	1 3/4"	WN	WD	---	DF-01	HM	PT-02	B3/A-701	A3/A-701	---		RELOCATED FROM STORAGE 215
120	3'-0"	6'-8"	1 3/4"	FL	MTL	PT-02	DF-01	HM	PT-02	B4/A-701	A4/A-701	90 MIN		
215	3'-0"	7'-0"	1 3/4"	FL	WD	STAIN	DF-01	HM	PT-02	B3/A-701	A3/A-701	---		

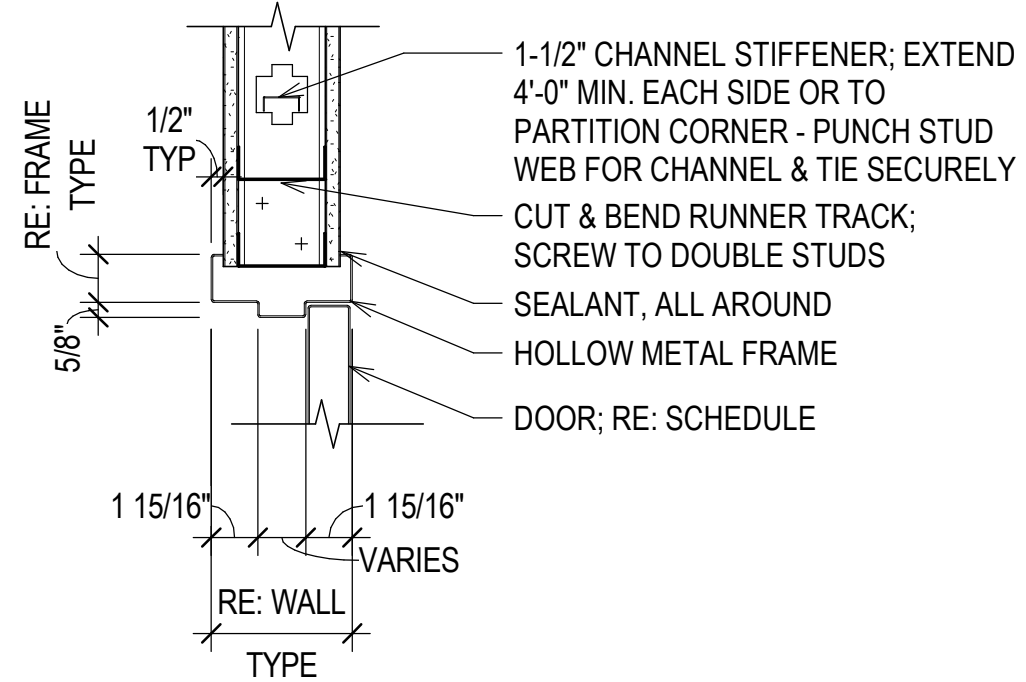
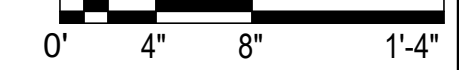
MATERIAL AND FINISHES

NO.	LOCATION	COLOR & MATERIAL SPECIFICATIONS	DESCRIPTIONS	MANUFACTURER/SUPPLIER
PT-01	THROUGHOUT	SW 7560 - IMPRESSIVE IVORY	WALL PAINT	SIHERWIN-WILLIAMS
PT-02	THROUGHOUT	SW 6095 - TOASTY	HM FRAME, PAINT	SHERWIN-WILLIAMS
PT-03	THROUGHOUT	SW 7006 - EXTRA WHITE - FLAT	CEILING PAINT	SHERWIN-WILLIAMS
TB-01	SECURE HALLWAY 103, WATCHROOM 104	4x24 BULLNOSE, PTG05 - HARVEST TAWNY	TILE BASE	CROSSVILLE
VCT-01	VESTIBULE 120	12x12, TEA GARDEN GREEN STANDARD EXCELRON	VINYL COMPOSITION TILE	ARMSTRONG FLOORING
WB-01	VESTIBULE 120, STORAGE 215	100 BLACK - 4" PINNACLE RUBBER	WALL BASE	ROPPE



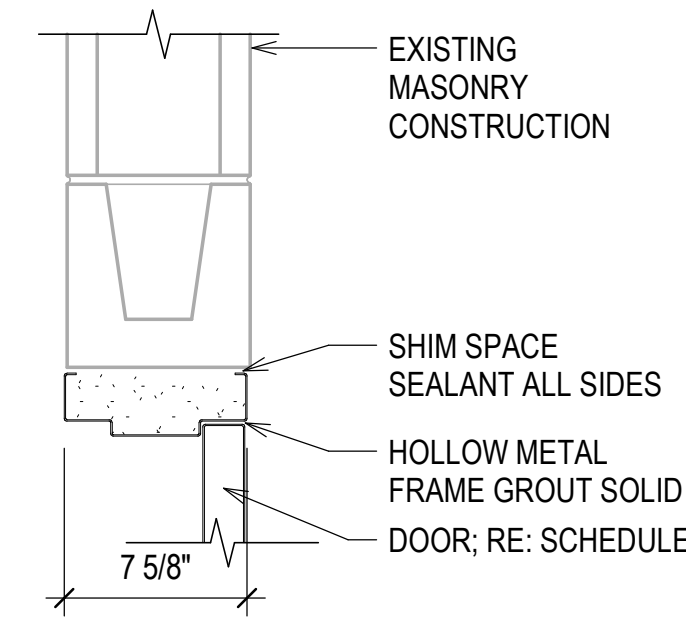
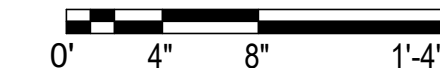
C5 | ALUM WINDOW FRAME - HEAD IN CMU

A-701 1 1/2" = 1'-0"



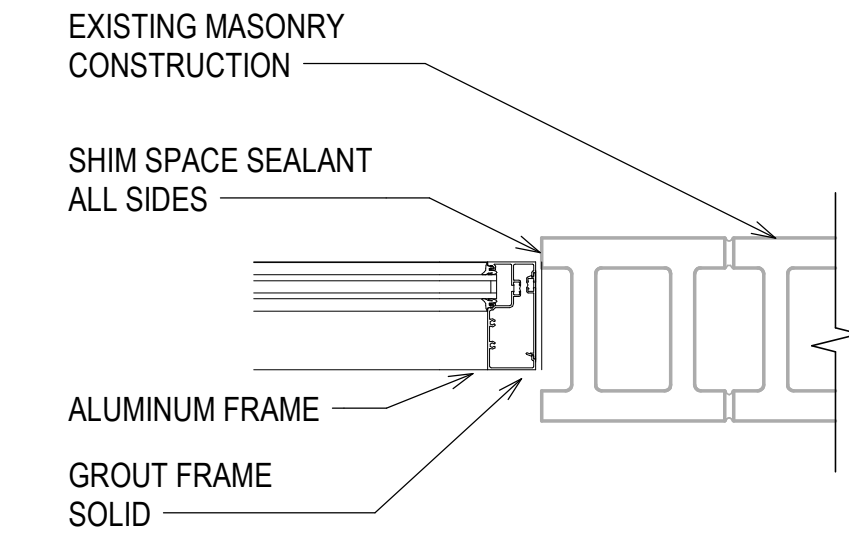
B3 | HM DOOR FRAME - HEAD IN MTL STUD

A-701 1 1/2" = 1'-0"



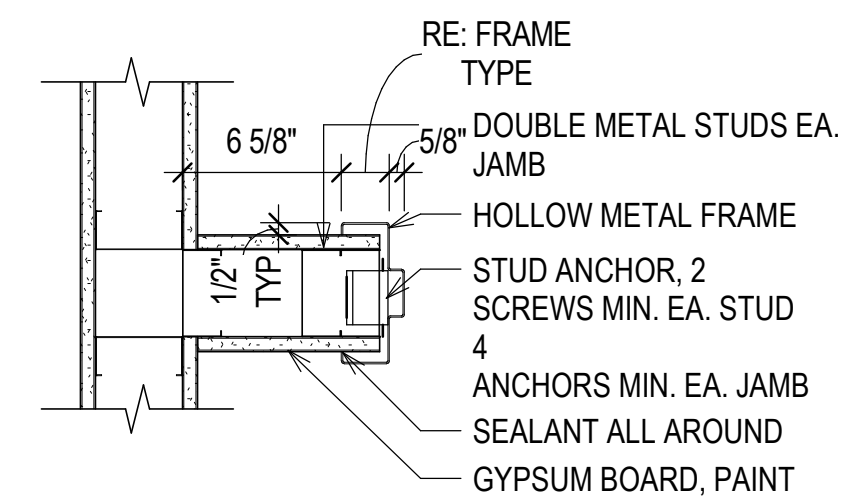
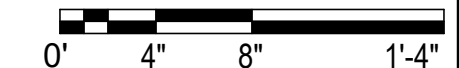
B4 | HM DOOR FRAME - HEAD IN CMU

A-701 1 1/2" = 1'-0"



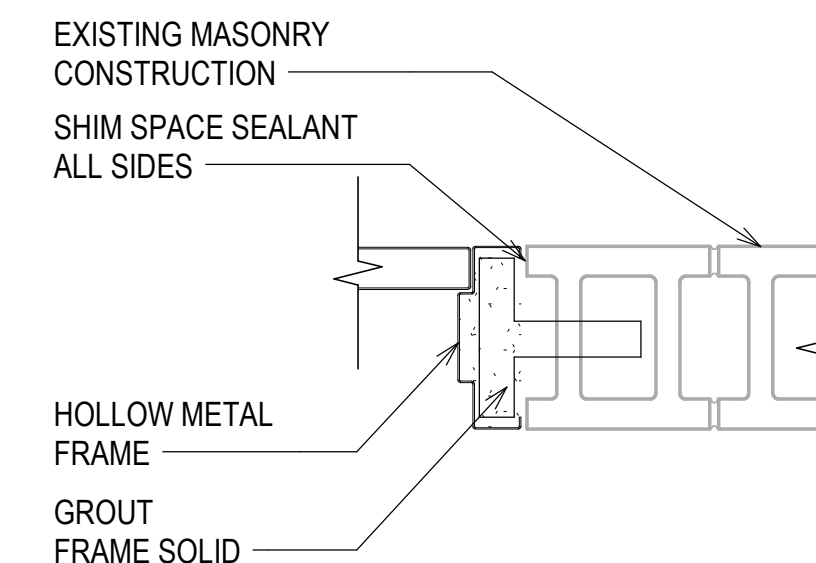
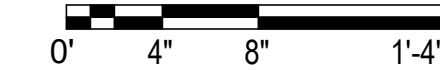
B5 | ALUM WINDOW FRAME - JAMB IN CMU

A-701 1 1/2" = 1'-0"



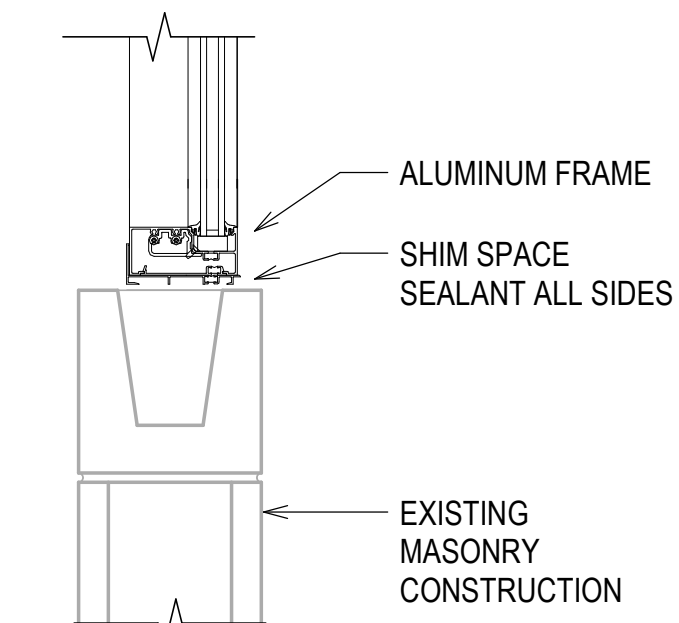
A3 | HM DOOR FRAME - JAMB IN MTL STUD

A-701 1 1/2" = 1'-0"



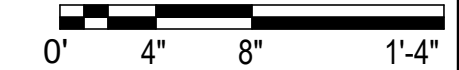
A4 | HM DOOR FRAME - JAMB IN CMU

A-701 1 1/2" = 1'-0"



A5 | ALUM WINDOW FRAME - SILL IN CMU

A-701 1 1/2" = 1'-0"



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NO.	DATE	DESCRIPTION	BY	CHECKED

ISSUED FOR PERMIT

STATE OF COLORADO
BRIAN T. DUGGAN
401770
5/15/2024
LICENSED ARCHITECT

DESIGN BY: Designer
D2C PROJECT NUMBER
Project Number
D2C PROJECT NUMBER
Project Number
DESIGNED BY: Author
Project Number
DRAWN BY: Checker
Project Number
SEAL BY: Approver
Project Number
DATE: 05/15/2024
PLOT SCALE: 3/16/32 PM
As Indicated
FILE NUMBER: 22' x 34'

LOUISVILLE FIRE PROTECTION DISTRICT
LOUISVILLE FIRE STATION
1 - RENOVATION
1240 MAIN ST., LOUISVILLE, CO 80027
SCHEDULES

SHEET IDENTIFICATION
A-701

A-701-

ELECTRICAL SYMBOL LEGEND

SOME SYMBOLS AND ABBREVIATIONS ON THIS LEGEND MAY NOT BE USED

Electrical Symbol Legend containing sections for Circuits, Power Devices, Fire Alarm, Telephone/Data, Audio/Visual, Communications Symbols, Equipment, General Symbols, Lighting, and Medical Gas.

ABBREVIATIONS

Table of abbreviations for architectural and electrical terms, including ARCHITECT, ENGINEER, ABOVE FINISHED FLOOR, etc.

FIRE SEALING NOTES

- 1. COORDINATE CONSTRUCTION OF OPENINGS AND PENETRATING ITEMS TO ENSURE THAT THROUGH-PENETRATION FIRESTOP SYSTEMS ARE INSTALLED...

MECHANICAL AND PLUMBING SYMBOL LEGEND

SOME SYMBOLS AND ABBREVIATIONS ON THIS LEGEND MAY NOT BE USED

Mechanical and Plumbing Symbol Legend containing sections for Sheet Metal, Mechanical Piping, Plumbing Piping, Fire Sprinkler, Medical Gas, and General Symbols.

GENERAL ELECTRICAL NOTES

- 1. COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE NATIONAL ELECTRICAL CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE A/E...

COORDINATION NOTES

- 1. COORDINATE REQUIREMENTS FOR INSTALLATION OF SYSTEMS AND EQUIPMENT WITH ALL OTHER TRADES.

GENERAL NOTES

- 1. SOME ROOM NAMES MAY NOT BE SHOWN FOR PURPOSE OF CLARIFYING PLAN. REFER TO ARCHITECTURAL PLANS FOR REFERENCE TO ROOM NAMES NOT SHOWN.

GEN. MECHANICAL NOTES

- 1. COMPLETE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL MECHANICAL CODE, LOCAL AND STATE CODES, AND REQUIREMENTS OF THE A/E...

SHEET INDEX

Table listing sheet numbers and titles, including MEP-001 MEP COVER SHEET, MEP-002 MEP SPECIFICATIONS, etc.



PEARSON KENT MCKINLEY RAAF ENGINEERS LLC
1550 WEIATTA ST., #200
DENVER, CO 80202
720.739.4520
WWW.PKMRNG.COM

Table with columns for DATE, DESCRIPTION, and MARK, used for tracking changes and revisions.

CODES AND DESIGN CRITERIA

JURISDICTION: LOUISVILLE, CO
BUILDING CODE: 2018 IBC
ENERGY CODE: 2021 IECC (ECC PRESCRIPTIVE PATH)
ELECTRICAL CODE: 2023 NEC
MECHANICAL CODE: 2018 IMC
PLUMBING CODE: 2018 IPC

DEMOLITION NOTES

- 1. ALL WORK SHOWN DARK AND DASHED IS TO BE DEMOLISHED. WORK SHOWN LIGHT IS EXISTING TO REMAIN.

Construction Documents stamp area including issue date (MARCH 7, 2024), project number, consultant's project number, and professional engineer seal for Paul J. Walker, No. 57087.

Project information area including project name (Louisville Fire Station 1 - Renovation), location (1240 Main St., Louisville, CO 80027), sheet title (MEP COVER SHEET), and sheet identification (SHEET IDENTIFICATION MEP-001).

GENERAL MECHANICAL/ELECTRICAL SPECIFICATIONS

GENERAL MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS

- 1. APPLICABILITY
A. These general requirements apply to all divisions (23, 26). Refer to individual divisions as included for specific information regarding each trade or scope of work.
2. GENERAL REQUIREMENTS
A. Furnish & install all labor & materials required for complete, functioning, mechanical & plumbing systems w/ all associated equipment & apparatus as shown on plans.
B. Obtain & pay for all permits required for execution of this work & shall make arrangements for modifications to water, gas & sewer connections to building as required.
C. All materials shall be new & shall bare UL label where applicable.
D. Visit site & observe conditions under which work will be done. Any discrepancies shall be called to architect's attention.
E. Final acceptance of work shall be subject to condition that all systems, equipment, apparatus & appliances operate satisfactorily as designed & intended.
F. Warrant to owner quality of materials, equipment, workmanship & operation of equipment provided under these specifications for one year from & after completion of building & acceptance of mechanical systems by owner.
G. All materials installed in plenums shall be noncombustible or have flame/smoke index of no more than 25/50 in accordance w/ ASTM e 84.
H. Requirements under Division one & general & supplementary conditions of these specifications shall be part of this section.
I. The specifications & drawings for project are complementary, & portions of work described in one, shall be provided as if described in both.
3. EXTENT OF CONTRACT WORK
A. Provide MEP systems indicated on drawings, specified or reasonably implied.

- B. In case of an inconsistency between the Drawings and Specifications or within either document, the better quality or the greater quantity of work shall be provided in accordance with the Architect or Engineer's interpretation.
C. In no case will claims for "Extra Work" be allowed for work about which Contractor could have been informed before bids were taken.
D. Contractor shall become familiar with equipment provided by other contractors that require plumbing connections and controls.
E. Electrical work required to install and control plumbing equipment, which is not shown on plans or specified under Division 26, shall be included in Contractor's base bid proposal.
F. All automatic temperature control devices shall be mounted as indicated in automatic temperature control section of specifications.
G. The cost of larger wiring, conduit, control and protective devices resulting from installation of equipment which was not used for basis of design as outlined in specifications shall be paid for by the supplying Contractor at no cost to Owner or Architect Engineer.
H. Contractor shall be responsible for providing supervision to other trade Contractors to insure that required connections, interlocking and interconnection of MEP equipment is made to attain intended control sequences and system operation.
I. Contractor shall obtain complete MEP data on shop drawings and shall list this data on an approved form that shall be presented on request, to other trade Contractors.
4. DEFINITIONS
A. Whenever used in these specifications or drawings, following terms shall have indicated meanings:
B. Furnish: term "Furnish" is used to mean "supply & deliver to project site. Ready for unloading, unpacking, assembly, installation & similar operations.
C. Install: term "Install" is used to describe operations at project site including actual "unloading, unpacking, Assembly, Erection, Placing, Anchoring, Applying, working to dimension, Finishing, curing, protecting, cleaning, & similar operations."
D. Provide: term "Provide" means "to Furnish & Install. Complete & ready for intended use."
E. Engineer: where referenced in this Division, "Engineer" is engineer of record & design professional for work under this Division, & is consultant to, & an authorized representative of, architect.
F. AHJ: local code &/or inspection agency (authority) having jurisdiction over work.
5. PRE-BID SITE VISIT
A. Prior to submitting bid, visit site of proposed work & become fully informed as to conditions under which work is to be done.
6. MATERIAL & WORKMANSHIP
A. Provide new material, equipment, & apparatus under this contract unless otherwise stated herein.
B. Pipe, fittings, specialties & valves shall be manufactured in USA.
C. Remove from premises waste material present from work, including cartons, crating, paper, stickers, &/or excavation material not used.
D. Clean equipment installed under this contract to present neat & clean installation at completion.
E. Repair or replace public & private property damaged as result of work performed under this contract to satisfaction of authorities & regulations having jurisdiction.

- 7. COORDINATION
A. Coordinate work w/ other trades so various components of systems will be installed at proper time with fit available space & will allow proper service access for maintenance.
8. ARCHITECTURAL VERIFICATION AND RELATED DOCUMENTS
A. Contractor shall consult all Architectural Drawings and specifications in their entirety.
9. ORDINANCES & CODES
A. Work performed under this contract shall, at minimum, be in conformance w/ applicable national, state & local codes having jurisdiction.
B. Installation work performed under this contract shall be in strict compliance w/ current applicable codes adopted by local AHJ including any amendments & standards as set forth by National Fire Protection Association (NFPA).
10. STANDARDS
A. Drawings and specifications indicate minimum construction standard.
B. Minimum letter size: 1/4" for name of units if viewing distance is less than 24 inches.
11. PROTECTION OF EQUIPMENT & MATERIALS
A. Store & protect from damage equipment & materials delivered to job site.
12. SUBSTITUTIONS
A. The base bid shall include only products from manufacturers specifically named in drawings & specifications.
13. SHOP DRAWINGS
A. Equipment to be furnished under this contract, items requiring coordination between contractors & sheet metal ductwork fabrication drawings.
B. Submittal data shall be neatly organized, identified & indexed.
C. Requirements shall be met electronically & submitted as pdf in files less than 10mb.
D. Contractor's stamp, which shall certify that stamped drawings have been checked by contractor.
E. Transmit submittals as early as required to support project schedule.
F. Final copies shall be furnished to owner as part of O&M documents in hard & electronic formats.
14. OPERATION & MAINTENANCE INSTRUCTIONS
A. Collect & compile complete brochure of equipment furnished & installed on this project.
15. TRAINING
A. Provide factory trained & authorized representative to train owner's designated personnel on operation & maintenance of equipment provided for this project.
16. SPARE PARTS
A. Furnish to owner, w/ receipt one set of spare filters of each type required for each unit.
17. EQUIPMENT LABELS
A. Material and thickness: multilayer, multicolor, plastic labels for mechanical engraving.
B. Minimum label size: length and width vary for required label content, but not less than 2-1/2 by 3/4 inch.
18. WARRANTIES
A. Warrant each system & each element thereof against all defects due to faulty workmanship design or material for period of 12 months from date of substantial completion.
19. CUTTING & PATCHING
A. Perform cutting of walls, floors, ceilings, etc. As required to install work under this section.

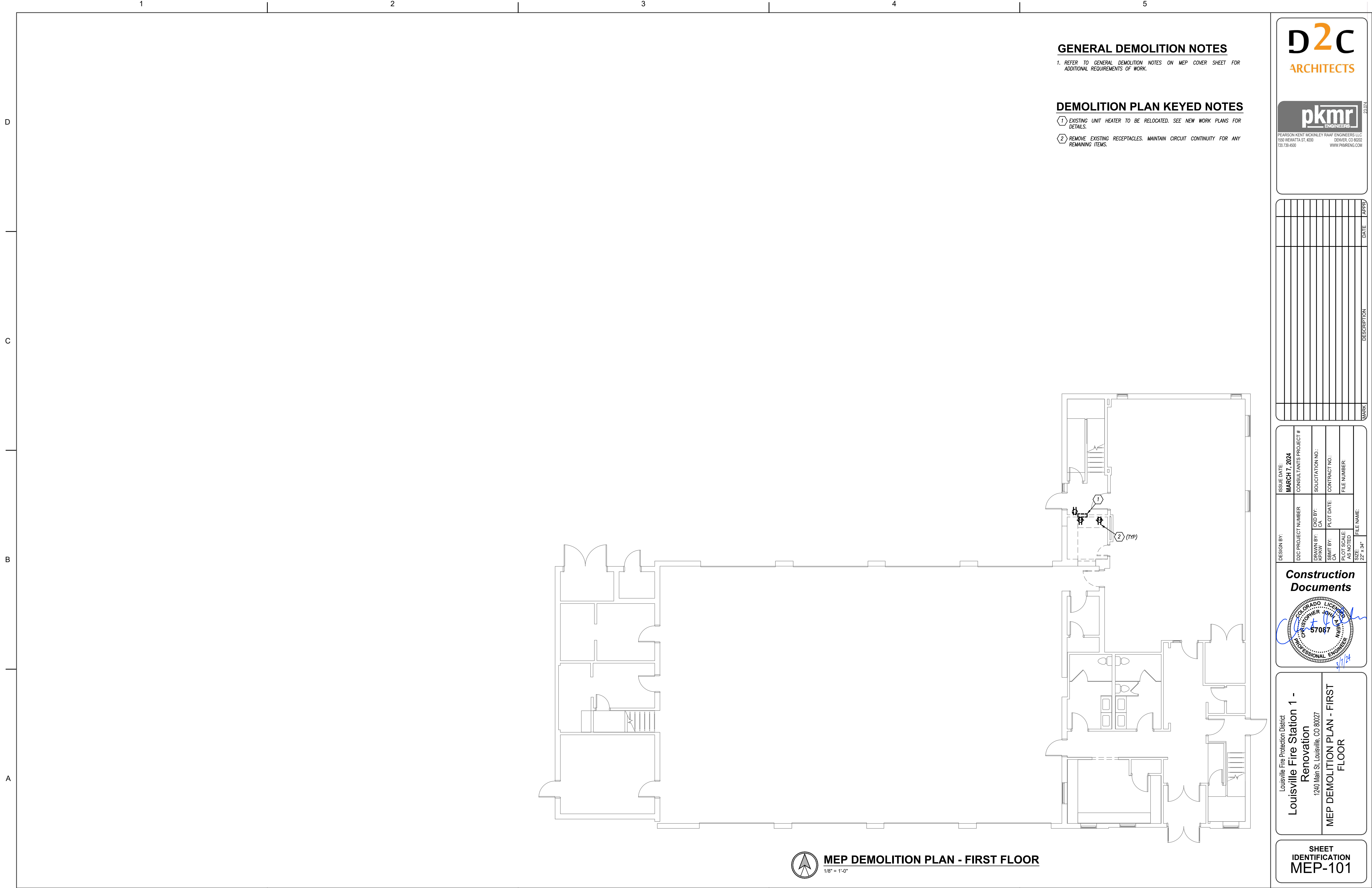
- B. Provide factory trained & authorized representative to train owner's designated personnel on operation & maintenance of equipment provided for this project.
C. Provide training manuals as furnished by equipment manufacturer.
D. Provide factory trained & authorized representative to train owner's designated personnel on operation & maintenance of equipment provided for this project.
E. Provide factory trained & authorized representative to train owner's designated personnel on operation & maintenance of equipment provided for this project.
F. Provide factory trained & authorized representative to train owner's designated personnel on operation & maintenance of equipment provided for this project.
20. ROUGH-IN
A. Coordinate rough-in w/ general construction & other trades.
21. STRUCTURAL STEEL
A. Structural steel used for support of equipment, ductwork & piping shall be new, clean, & conform to ASTM a-36.
22. ACCESS DOORS
A. Provide access doors in ceilings, walls, etc.
23. PENETRATIONS
A. Seal mechanical floor, exterior wall & roof penetrations watertight & weathertight.
24. MOTORS & STARTERS
A. Provide motors & starting equipment where not furnished w/ equipment package.
25. ELECTRICAL WIRING
A. Line voltage wiring shall be provided by Division 26.
26. DISCONNECT SWITCHES
A. Provide heavy-duty horsepower rated safety switches rated in accordance with NEMA enclosed switch standard KS 1, 1969 and I98 standard.
27. REFRIGERANT & OIL
A. Provide full refrigerant & oil charge in refrigeration systems.
28. EQUIPMENT FURNISHED BY OTHERS
A. Provide necessary equipment & accessories that are not provided by equipment supplier.
29. SETTING, ADJUSTMENT AND EQUIPMENT SUPPORTS
A. Work shall include mounting, alignment and adjustment of systems and equipment.
30. MISCELLANEOUS REMODELING WORK
A. Remove all unused equipment, ductwork, piping & associated supports.
31. BUILDING OPERATION
A. Comply w/ schedule of operations as outlined in architectural portions of this specification.
32. VIBRATION ISOLATION
A. Provide vibration isolation equipment & materials by single manufacturer.

- use his ingenuity and abilities to perform the work to his and the Owner's best advantage, and to permit maximum competition in bidding on standards of materials and equipment required.
C. Material and equipment installed under this contract shall be first class quality, new, unused and without damage.
D. In general, these specifications identify required materials and equipment by naming one or more manufacturer's brand, model, catalog number and/or other identification.
E. Where materials or equipment are described but not named, provide required items of first quality, adequate in every respect for intended use.
F. Materials and equipment proposed for substitutions shall be equal to or superior to that specified in construction, efficiency, utility, aesthetic design, and color as determined by Architect Engineer whose decision shall be final and without further recourse.
G. The burden of proof of merit of proposed substitute is upon proposer.
H. No material substitutions shall be considered for approval after to award of contract.
I. Schedule construction operations in sequence required to obtain the best results where installation of one part of the work depends on installation of other components, before or after its own installation.
J. Coordinate installation of different components with other contractors to ensure maximum accessibility for required maintenance, service, and repair.
K. Make adequate provisions to accommodate items scheduled for later installation.
L. Where availability of space is limited, coordinate installation of different components to ensure maximum performance and accessibility for required maintenance, service, and repair of all components, including mechanical and electrical.
M. Prepare coordination drawings if limited space availability necessitates maximum utilization of space for efficient installation of different components or if coordination is required for installation of products and materials fabricated by separate entities.
N. Meetings: conduct project coordination meetings at regular intervals.
1) Attendees: each contractor, subcontractor, supplier, and other entity concerned with current progress or involved in planning, coordination, or performance of future activities shall be represented at these meetings.
2) Agenda: review and correct or approve minutes of the previous coordination meeting.
3) Combined contractor's construction schedule: review progress since last coordination meeting.
4) Review present and future needs of each contractor present.
O. After shop drawings have been reviewed and approved by all parties, transmit a set of submittals to each other trade (eg Plumbing, Mechanical, Electrical, Controls, etc) that will interface with installation.
8. ARCHITECTURAL VERIFICATION AND RELATED DOCUMENTS
A. Contractor shall consult all Architectural Drawings and specifications in their entirety.
9. ORDINANCES & CODES
A. Work performed under this contract shall, at minimum, be in conformance w/ applicable national, state & local codes having jurisdiction.
B. Installation work performed under this contract shall be in strict compliance w/ current applicable codes adopted by local AHJ including any amendments & standards as set forth by National Fire Protection Association (NFPA).
10. STANDARDS
A. Drawings and specifications indicate minimum construction standard.
B. Minimum letter size: 1/4" for name of units if viewing distance is less than 24 inches.
11. PROTECTION OF EQUIPMENT & MATERIALS
A. Store & protect from damage equipment & materials delivered to job site.
12. SUBSTITUTIONS
A. The base bid shall include only products from manufacturers specifically named in drawings & specifications.
13. SHOP DRAWINGS
A. Equipment to be furnished under this contract, items requiring coordination between contractors & sheet metal ductwork fabrication drawings.
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A. Furnish to owner, w/ receipt one set of spare filters of each type required for each unit.
17. EQUIPMENT LABELS
A. Material and thickness: multilayer, multicolor, plastic labels for mechanical engraving.
B. Minimum label size: length and width vary for required label content, but not less than 2-1/2 by 3/4 inch.
18. WARRANTIES
A. Warrant each system & each element thereof against all defects due to faulty workmanship design or material for period of 12 months from date of substantial completion.
19. CUTTING & PATCHING
A. Perform cutting of walls, floors, ceilings, etc. As required to install work under this section.

- use his ingenuity and abilities to perform the work to his and the Owner's best advantage, and to permit maximum competition in bidding on standards of materials and equipment required.
C. Material and equipment installed under this contract shall be first class quality, new, unused and without damage.
D. In general, these specifications identify required materials and equipment by naming one or more manufacturer's brand, model, catalog number and/or other identification.
E. Where materials or equipment are described but not named, provide required items of first quality, adequate in every respect for intended use.
F. Materials and equipment proposed for substitutions shall be equal to or superior to that specified in construction, efficiency, utility, aesthetic design, and color as determined by Architect Engineer whose decision shall be final and without further recourse.
G. The burden of proof of merit of proposed substitute is upon proposer.
H. No material substitutions shall be considered for approval after to award of contract.
I. Schedule construction operations in sequence required to obtain the best results where installation of one part of the work depends on installation of other components, before or after its own installation.
J. Coordinate installation of different components with other contractors to ensure maximum accessibility for required maintenance, service, and repair.
K. Make adequate provisions to accommodate items scheduled for later installation.
L. Where availability of space is limited, coordinate installation of different components to ensure maximum performance and accessibility for required maintenance, service, and repair of all components, including mechanical and electrical.
M. Prepare coordination drawings if limited space availability necessitates maximum utilization of space for efficient installation of different components or if coordination is required for installation of products and materials fabricated by separate entities.
N. Meetings: conduct project coordination meetings at regular intervals.
1) Attendees: each contractor, subcontractor, supplier, and other entity concerned with current progress or involved in planning, coordination, or performance of future activities shall be represented at these meetings.
2) Agenda: review and correct or approve minutes of the previous coordination meeting.
3) Combined contractor's construction schedule: review progress since last coordination meeting.
4) Review present and future needs of each contractor present.
O. After shop drawings have been reviewed and approved by all parties, transmit a set of submittals to each other trade (eg Plumbing, Mechanical, Electrical, Controls, etc) that will interface with installation.
8. ARCHITECTURAL VERIFICATION AND RELATED DOCUMENTS
A. Contractor shall consult all Architectural Drawings and specifications in their entirety.
9. ORDINANCES & CODES
A. Work performed under this contract shall, at minimum, be in conformance w/ applicable national, state & local codes having jurisdiction.
B. Installation work performed under this contract shall be in strict compliance w/ current applicable codes adopted by local AHJ including any amendments & standards as set forth by National Fire Protection Association (NFPA).
10. STANDARDS
A. Drawings and specifications indicate minimum construction standard.
B. Minimum letter size: 1/4" for name of units if viewing distance is less than 24 inches.
11. PROTECTION OF EQUIPMENT & MATERIALS
A. Store & protect from damage equipment & materials delivered to job site.
12. SUBSTITUTIONS
A. The base bid shall include only products from manufacturers specifically named in drawings & specifications.
13. SHOP DRAWINGS
A. Equipment to be furnished under this contract, items requiring coordination between contractors & sheet metal ductwork fabrication drawings.
B. Submittal data shall be neatly organized, identified & indexed.
C. Requirements shall be met electronically & submitted as pdf in files less than 10mb.
D. Contractor's stamp, which shall certify that stamped drawings have been checked by contractor.
E. Transmit submittals as early as required to support project schedule.
F. Final copies shall be furnished to owner as part of O&M documents in hard & electronic formats.
14. OPERATION & MAINTENANCE INSTRUCTIONS
A. Collect & compile complete brochure of equipment furnished & installed on this project.
15. TRAINING
A. Provide factory trained & authorized representative to train owner's designated personnel on operation & maintenance of equipment provided for this project.
16. SPARE PARTS
A. Furnish to owner, w/ receipt one set of spare filters of each type required for each unit.
17. EQUIPMENT LABELS
A. Material and thickness: multilayer, multicolor, plastic labels for mechanical engraving.
B. Minimum label size: length and width vary for required label content, but not less than 2-1/2 by 3/4 inch.
18. WARRANTIES
A. Warrant each system & each element thereof against all defects due to faulty workmanship design or material for period of 12 months from date of substantial completion.
19. CUTTING & PATCHING
A. Perform cutting of walls, floors, ceilings, etc. As required to install work under this section.

- use his ingenuity and abilities to perform the work to his and the Owner's best advantage, and to permit maximum competition in bidding on standards of materials and equipment required.
C. Material and equipment installed under this contract shall be first class quality, new, unused and without damage.
D. In general, these specifications identify required materials and equipment by naming one or more manufacturer's brand, model, catalog number and/or other identification.
E. Where materials or equipment are described but not named, provide required items of first quality, adequate in every respect for intended use.
F. Materials and equipment proposed for substitutions shall be equal to or superior to that specified in construction, efficiency, utility, aesthetic design, and color as determined by Architect Engineer whose decision shall be final and without further recourse.
G. The burden of proof of merit of proposed substitute is upon proposer.
H. No material substitutions shall be considered for approval after to award of contract.
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A. Warrant each system & each element thereof against all defects due to faulty workmanship design or material for period of 12 months from date of substantial completion.
19. CUTTING & PATCHING
A. Perform cutting of walls, floors, ceilings, etc. As required to install work under this section.

D2C ARCHITECTS
pkmmr ENGINEERS
PEARSON KENT MCKINLEY RAAF ENGINEERS LLC
CONSTRUCTION Documents
Louisville Fire Station 1 - Renovation
MEP SPECIFICATIONS
SHEET IDENTIFICATION MEP-002
END OF GENERAL MEP REQUIREMENTS



GENERAL DEMOLITION NOTES

1. REFER TO GENERAL DEMOLITION NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.

DEMOLITION PLAN KEYED NOTES

- (1) EXISTING UNIT HEATER TO BE RELOCATED. SEE NEW WORK PLANS FOR DETAILS.
- (2) REMOVE EXISTING RECEPTACLES. MAINTAIN CIRCUIT CONTINUITY FOR ANY REMAINING ITEMS.

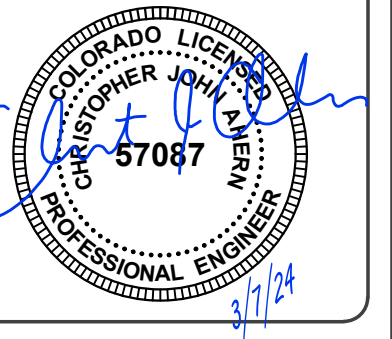


PEARSON KENT MCKINLEY RAAF ENGINEERS LLC
 1550 WENATTA ST., #200 DENVER, CO 80202
 720.739.4500 WWW.PKMRENG.COM

MARK	DESCRIPTION	DATE	APPROVED

DESIGN BY:	ISSUE DATE:	CONSULTANT'S PROJECT #:
DWG PROJECT NUMBER	MARCH 7, 2024	
DRAWN BY:	DESIGNED BY:	PLANNING BY:
PKR/AV	CA	CA
SENT BY:	FILE DATE:	CONTRACT NO.:
CA	CA	FILE NUMBER:
PILOT SCALE:	AS NOTED	FILE NAME:
SIZE:	22" x 34"	

Construction Documents



Louisville Fire Protection District
Louisville Fire Station 1 - Renovation
 12410 Main St., Louisville, CO 80027
MEP DEMOLITION PLAN - FIRST FLOOR

MEP DEMOLITION PLAN - FIRST FLOOR
 1/8" = 1'-0"

SHEET IDENTIFICATION
 MEP-101



GENERAL DEMOLITION NOTES

1. REFER TO GENERAL DEMOLITION NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.

DEMOLITION PLAN KEYED NOTES

- 1 EXISTING RECEPTACLE CIRCUIT. SEE NEW WORK PLANS FOR CONNECTION.
- 2 EXISTING EXHAUST FAN TO REMAIN.
- 3 REMOVE EXISTING MOTION SWITCH. SEE NEW WORK PLANS FOR REPLACEMENT DETAILS.
- 4 EXISTING VAV BOX AND CONNECTED DIFFUSERS/TEMPERATURE SENSOR TO REMAIN. SEE NEW WORK PLANS FOR REBALANCING DETAILS.



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MARK	DESCRIPTION	DATE	APPRO

DESIGN BY:	ISSUE DATE:	CONSULTANT'S PROJECT #
DDC PROJECT NUMBER	MARCH 7, 2024	
DRAWN BY:	CAUS BY:	SOLICITATION NO.:
PKMAY	CA	
SEAMT BY:	FLOT DATE:	CONTRACT NO.:
CA		
PLOT SCALE	AS NOTED	FILE NUMBER:
SIZE:	22" x 34"	
FILE NAME:		

Construction Documents

Louisville Fire Protection District
Louisville Fire Station 1 - Renovation
 12410 Main St, Louisville, CO 80027
 MEP DEMOLITION PLAN - SECOND FLOOR

MEP DEMOLITION PLAN - SECOND FLOOR
 1/8" = 1'-0"

SHEET IDENTIFICATION
 MEP-102

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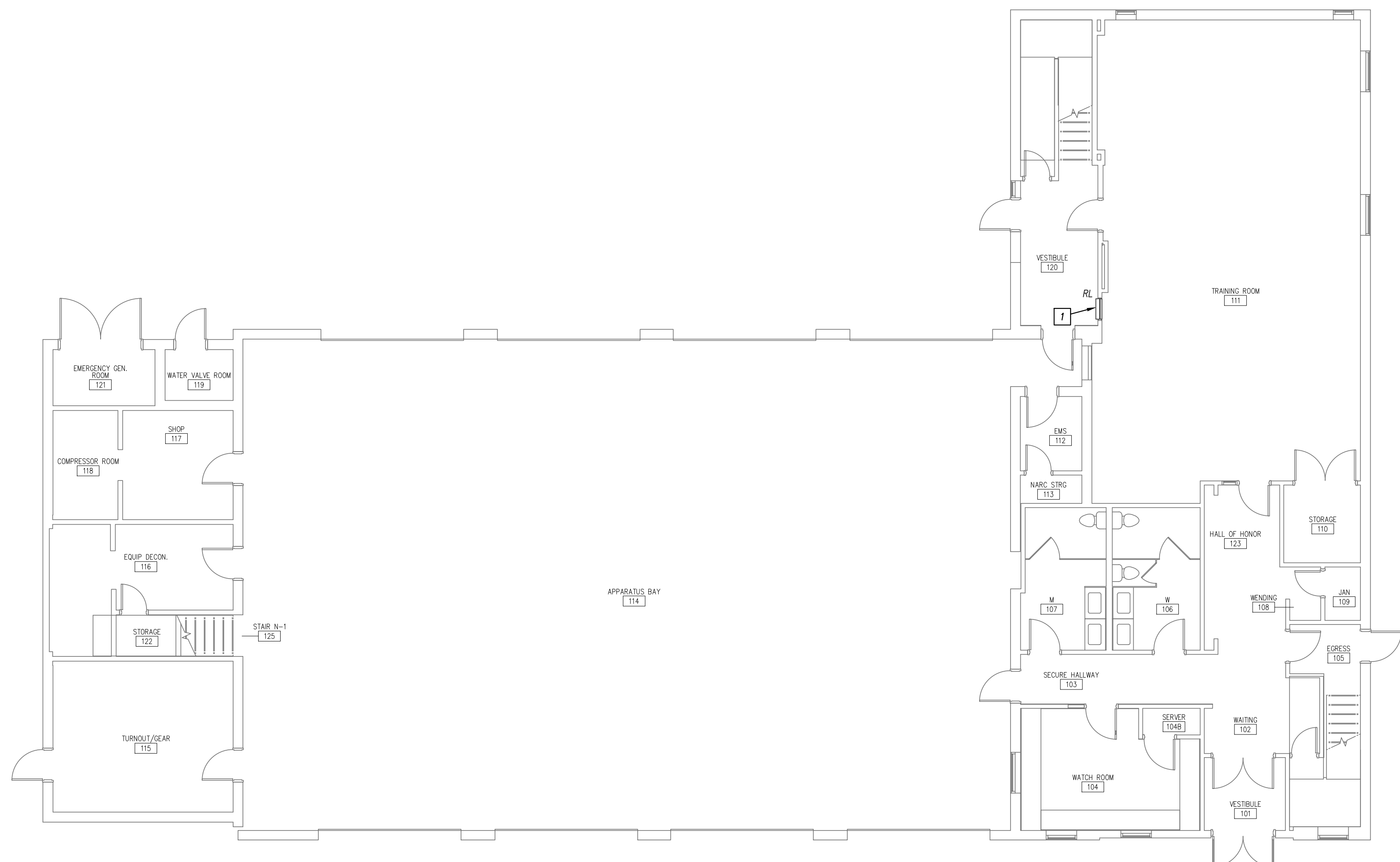
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GENERAL HVAC NOTES

- 1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
- 2. ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE AS THE DIFFUSER NECK UNLESS NOTED OTHERWISE.
- 3. MAXIMUM FLEXIBLE DUCT LENGTH SHALL BE 5'-0".
- 4. ALL RUNOUTS TO TERMINAL BOXES SHALL BE ONE SIZE LARGER THAN BOX INLETS UNLESS NOTED OTHERWISE.
- 5. ALL AIR DISTRIBUTION DEVICES SHALL HAVE LOCKABLE VOLUME CONTROL DEVICES.
- 6. ALL 90 DEGREE TURNING ELBOWS SHALL BE SMOOTH ROUND OR SQUARE WITH TURNING VANES.
- 7. DUCT SIZES SHOWN ON PLANS ARE INSIDE FREE AREA.
- 8. PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS.
- 9. FOR BALANCING THE OUTSIDE AIRFLOW QUANTITIES, REFER TO HVAC SCHEDULES.

HVAC PLAN KEYED NOTES

- 1 NEW LOCATION FOR EXISTING UNIT HEATER.



HVAC PLAN - FIRST FLOOR
1/8" = 1'-0"

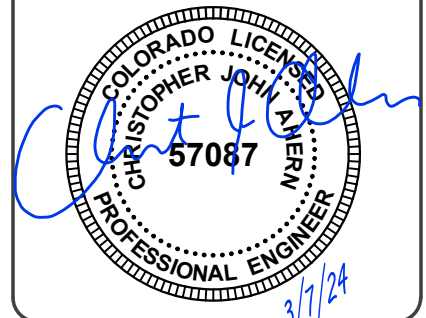


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MARK	DESCRIPTION	DATE	APPROV.

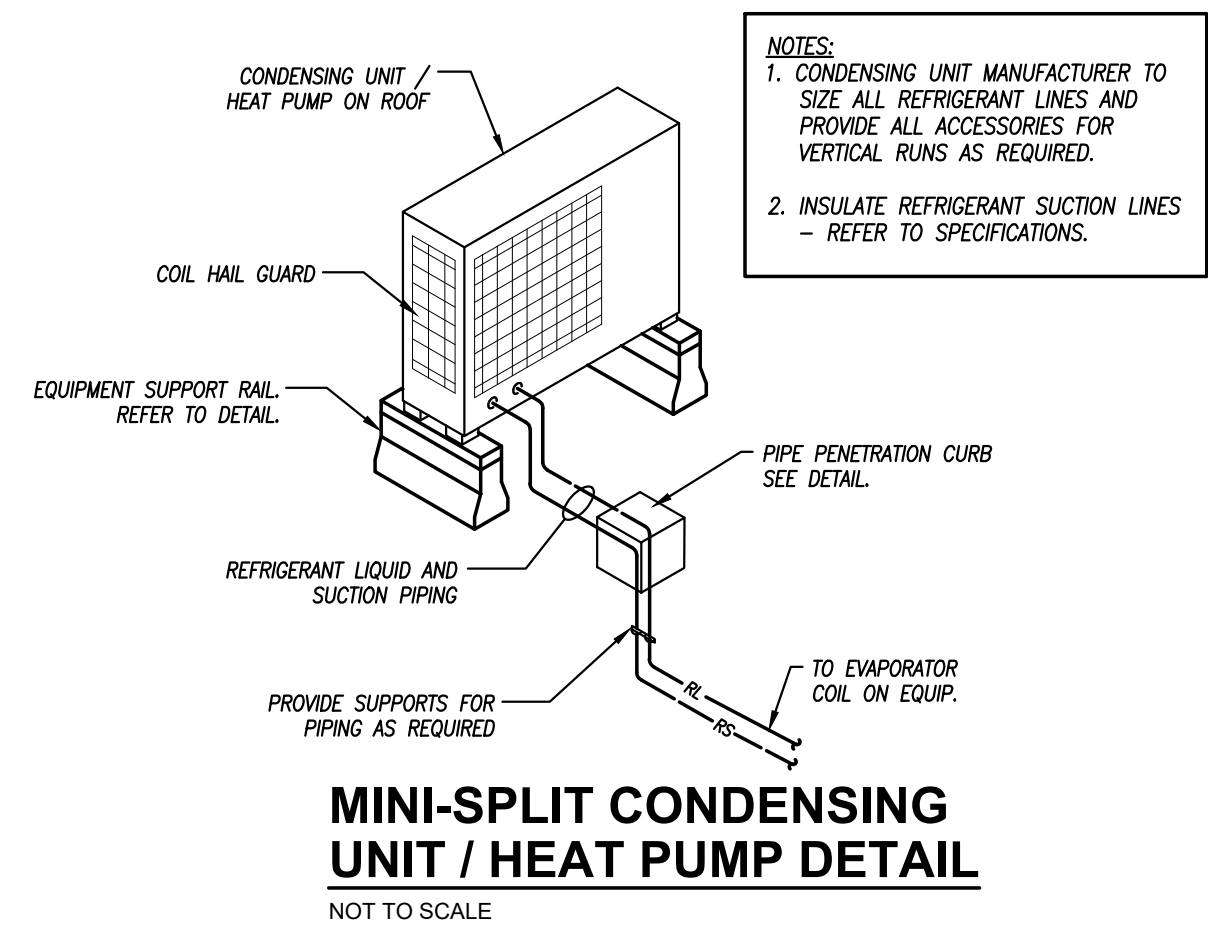
ISSUE DATE: MARCH 7, 2024	CONSULTANT'S PROJECT #
DESIGN BY: DDC PROJECT NUMBER	ISSUE BY: KPKAY CA
DRAWN BY: KPKAY CA	FLAT DATE: CA
SEAL BY: CA	FILE NUMBER:
PLOT SCALE: AS NOTED	FILE NAME:
SIZE: 22" x 34"	

Construction Documents

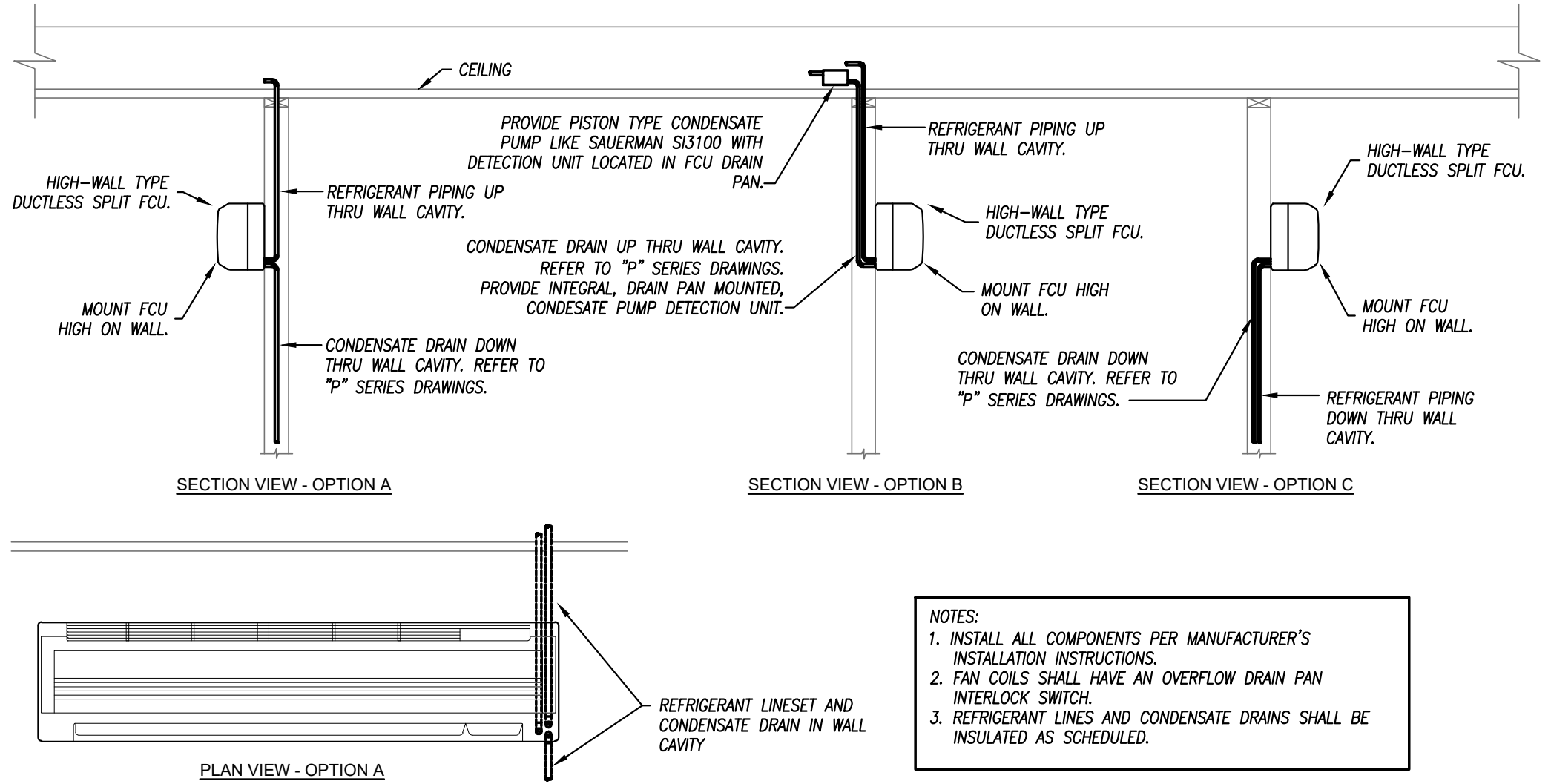


Louisville Fire Protection District
Louisville Fire Station 1 - Renovation
 1240 Main St. Louisville, CO 80027
HVAC PLAN - FIRST FLOOR

SHEET IDENTIFICATION M-101



NOTES:
1. CONDENSING UNIT MANUFACTURER TO SIZE ALL REFRIGERANT LINES AND PROVIDE ALL ACCESSORIES FOR VERTICAL RUNS AS REQUIRED.
2. INSULATE REFRIGERANT SUCTION LINES - REFER TO SPECIFICATIONS.



NOTES:
1. INSTALL ALL COMPONENTS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. FAN COILS SHALL HAVE AN OVERFLOW DRAIN PAN INTERLOCK SWITCH.
3. REFRIGERANT LINES AND CONDENSATE DRAINS SHALL BE INSULATED AS SCHEDULED.

GENERAL HVAC NOTES

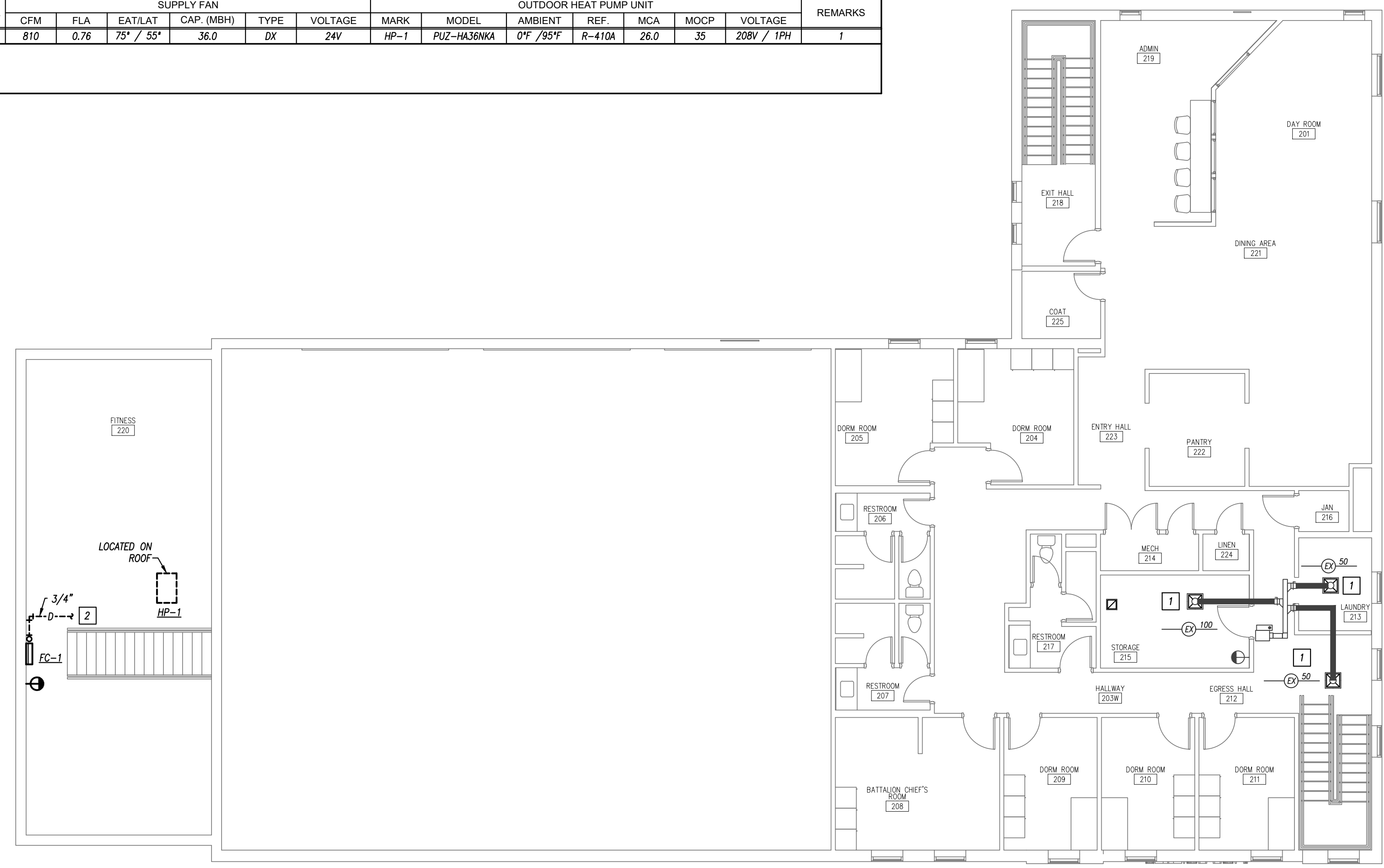
- REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
- ROUND BRANCH DUCT RUNOUTS AND FLEXIBLE DUCT SHALL BE THE SAME SIZE AS THE DIFFUSER NECK UNLESS NOTED OTHERWISE.
- MAXIMUM FLEXIBLE DUCT LENGTH SHALL BE 5'-0".
- ALL RUNOUTS TO TERMINAL BOXES SHALL BE ONE SIZE LARGER THAN BOX INLETS UNLESS NOTED OTHERWISE.
- ALL AIR DISTRIBUTION DEVICES SHALL HAVE LOCKABLE VOLUME CONTROL DEVICES.
- ALL 90 DEGREE TURNING ELBOWS SHALL BE SMOOTH ROUND OR SQUARE WITH TURNING VANES.
- DUCT SIZES SHOWN ON PLANS ARE INSIDE FREE AREA.
- PROVIDE ACCESS DOORS IN DUCTS AHEAD OF ALL AUTOMATIC, FIRE, AND SMOKE DAMPERS.
- FOR BALANCING THE OUTSIDE AIRFLOW QUANTITIES, REFER TO HVAC SCHEDULES.

HVAC PLAN KEYED NOTES

- REBALANCE GRILLES TO CFM'S SHOWN.
- COORDINATE ROUTING OF CONDENSATE DRAIN DOWN INTO SINK OR WASHING MACHINE BOX IN ROOM BELOW. VERIFY EXACT DISCHARGE LOCATION WITH OWNER. COORDINATE ROUTING TO BE AS CONCEALED AS POSSIBLE.

MINI-SPLIT COLD CLIMATE HEAT PUMP SYSTEM						SUPPLY FAN											OUTDOOR HEAT PUMP UNIT					REMARKS
PLAN MARK	AREA SERVED	MANUFACTURER	MODEL	STYLE	NOM. TON.	CFM	FLA	EAT/LAT	CAP. (MBH)	TYPE	VOLTAGE	MARK	MODEL	AMBIENT	REF.	MCA	MOCP	VOLTAGE				
FC-1	FITNESS	DAIKIN	PKA-A36	WALL MOUNTED	3	810	0.76	75° / 55°	36.0	DX	24V	HP-1	PUZ-HA36NKA	0°F / 95°F	R-410A	26.0	35	208V / 1PH	1			

REMARKS:
1. PROVIDE WITH WALL MOUNTED THERMOSTAT / CONTROLLER.



HVAC PLAN - SECOND FLOOR
1/8" = 1'-0"

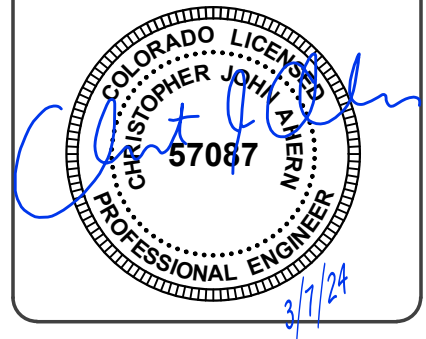


PEARSON KENT MCKINLEY RAAF ENGINEERS LLC
1550 WEIATTA ST. #200 DENVER, CO 80202
720.739.4520 WWW.PKMRNG.COM

MARK	DATE	APP'D	DESCRIPTION

ISSUE DATE: MARCH 7, 2024	CONSULTANT'S PROJECT #
DESIGN BY: D2C PROJECT NUMBER	CAUS BY: PKMRY CA
DRAWN BY: PKMRY CA	FLAT DATE: PKMRY CA
SEAL BY: PKMRY CA	FILE NUMBER: PKMRY CA
PLOT SCALE: AS NOTED	FILE NAME: 22' x 34"

Construction Documents



Louisville Fire Protection District
Louisville Fire Station 1 - Renovation
1240 Main St, Louisville, CO 80027
HVAC PLAN - SECOND FLOOR

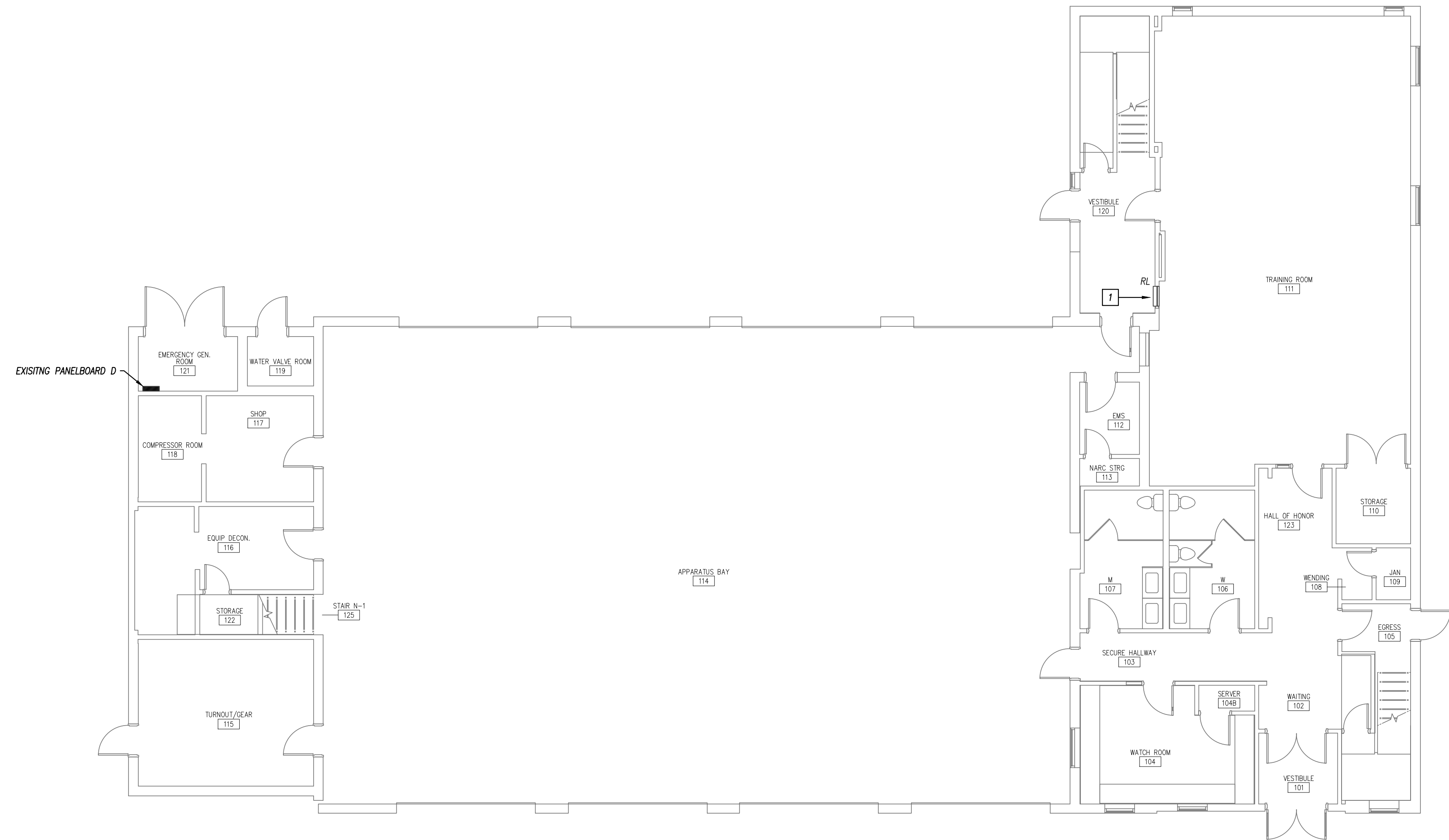
SHEET IDENTIFICATION
M-102

GENERAL POWER NOTES

1. REFER TO GENERAL NOTES ON MEP COVER SHEET FOR ADDITIONAL REQUIREMENTS OF WORK.
2. COORDINATE EXACT NEMA CONFIGURATIONS OF RECEPTACLES SERVING EQUIPMENT WITH EXACT EQUIPMENT BEING FURNISHED.
3. REFER TO THE SPECIFICATIONS FOR ADDITIONAL LOCATIONS/REQUIREMENTS FOR RECEPTACLES, INCLUDING GFCI, WEATHER-RESISTANT, HOSPITAL-GRADE, AND TAMPER-RESISTANT RECEPTACLES.
4. EXACT MECHANICAL EQUIPMENT LOCATIONS MAY NOT BE SHOWN FOR CLARITY. COORDINATE EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT, DUCT DETECTORS, ETC. WITH MECHANICAL DRAWINGS AND CONTRACTOR.
5. COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.

POWER PLAN KEYED NOTES

- [1] EXTEND EXISTING CIRCUIT TO NEW HEATER LOCATION. PROVIDE ALL WORK AND MATERIALS REQUIRED FOR RECONNECTION. MATCH EXISTING WIRE SIZE.



 **POWER PLAN - FIRST FLOOR**
1/8" = 1'-0"

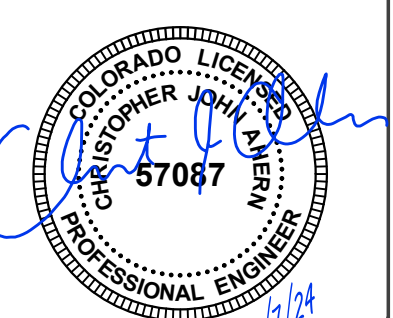
D2C
ARCHITECTS

pkmr
ENGINEERS
PEARSON KENT MCKINLEY RAAF ENGINEERS LLC
1550 WEIATTA ST. #200 DENVER, CO 80202
720.739.4520 WWW.PKMRNG.COM

MARK	DESCRIPTION	DATE	APPROV.

DESIGN BY:	ISSUE DATE:
DDC PROJECT NUMBER	MARCH 7, 2024
DRAWN BY:	CONSULTANT'S PROJECT #
PKP/AV	
CHECKED BY:	
CA	
DATE:	
CA	

Construction Documents



Louisville Fire Protection District
Louisville Fire Station 1 - Renovation
12410 Main St, Louisville, CO 80027

POWER PLAN - FIRST FLOOR

SHEET IDENTIFICATION
E-101

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GENERAL POWER NOTES

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- COORDINATE EXACT LOCATIONS OF SMOKE DETECTORS WITH CEILING FANS, HVAC DIFFUSERS, SPRINKLER HEADS, ETC. PER NFPA REQUIREMENTS.

POWER PLAN KEYED NOTES

- 208V/2P/60A NEMA-3R, HEAVY-DUTY DISCONNECT SWITCH
- ROUTE TO NEW 40A/2P BREAKER IN DESIGNATED PANEL (2)#8 AND (1)#10 GROUND IN 1/2" CONDUIT.
- ROUTE TO NEW 20A/1P BREAKER IN DESIGNATED PANEL.
- INSTALL DISCONNECT AND RECEPTACLE ON UNISTRUT ADJACENT TO EQUIPMENT.
- INDOOR UNIT FED FROM OUTDOOR UNIT. COORDINATE CONNECTION WITH MANUFACTURER.
- REPLACE MOTION SENSOR SWITCH WITH TRADITIONAL ON/OFF SWITCH FOR CONTROL.

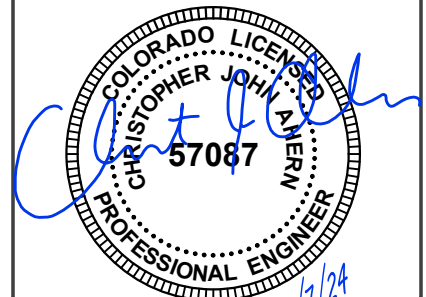


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DESIGN BY: DDC PROJECT NUMBER	ISSUE DATE: MARCH 7, 2024	CONSULTANT'S PROJECT #
DRAWN BY: KPKAW CA	CAUS BY: CA	SOLICITATION NO.:
SEAL BY: CA	FILE DATE:	CONTRACT NO.:
PLOT SCALE: AS NOTED	FILE NUMBER:	
SIZE: 22" x 34"	FILE NAME:	

Construction Documents



Louisville Fire Protection District
**Louisville Fire Station 1 -
 Renovation**
 1240 Main St, Louisville, CO 80027

POWER PLAN - SECOND FLOOR

POWER PLAN - SECOND FLOOR
 1/8" = 1'-0"

SHEET IDENTIFICATION
E-102